

SITE DEVELOPMENT PLANS FOR WASHBURN PROPERTY DEVELOPMENT

PREPARED FOR:
MIKE WASHBURN

REVISION #3 - 3/2/2022

sitework
STUDIOS

LANDSCAPE ARCHITECTURE
82 Patton Ave | Suite 700 | Asheville, NC 28801
828.225.4945 | siteworkstudios.com

BROOKS
ENGINEERING ASSOCIATES

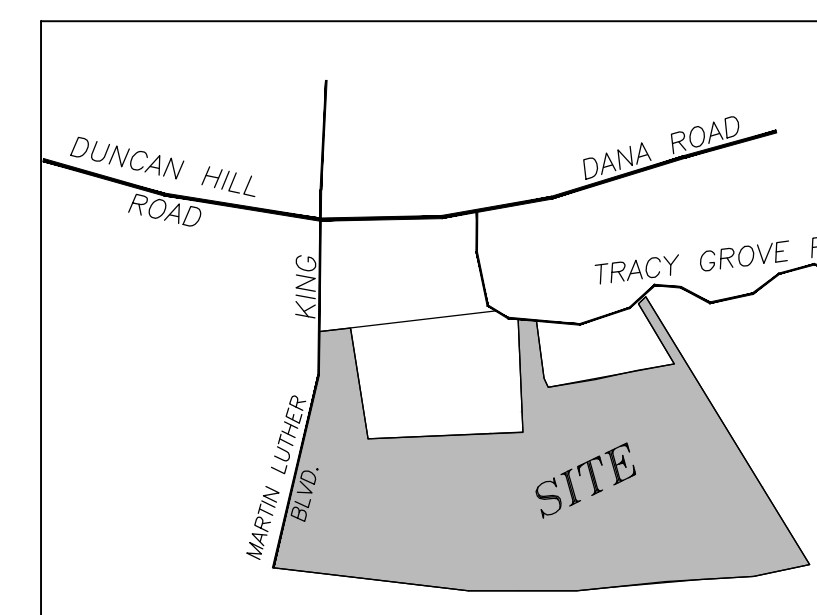
PROPERTY OWNER:
THOMAS, MARGARET S TRUSTEE; ROYCE P THOMAS TRUST; THOMAS,
MARGARET S; THOMAS, CHARLES W TRUSTEE; THOMAS, DORA E
TRUSTEE; CHARLES W THOMAS AND DORA E THOMAS
830 4TH AVE W – HENDERSONVILLE, NC 28739
5050 E SAINT ANDREWS DR. TUCSON, AZ 85718

DEVELOPER CONTACT:
MIKE WASHBURN
PO BOX 898 – SULLIVANS ISLAND, SC 29842
828.343.3947

LANDSCAPE ARCHITECT:
ROB DULL, PLA
SITEWORK STUDIOS, PLLC
82 PATTON AVENUE, SUITE 700
ASHEVILLE, NC 28801
828.225.4945

CIVIL ENGINEER:
JOHN KINNAIRD, PE
BROOKS ENGINEERING ASSOCIATES, PA
17 ARLINGTON STREET
ASHEVILLE, NC 28801
828.232.4700

SURVEYOR:
WAGGONER & RHODES LAND SURVEYORS, INC.
545 OLD SPARTANBURG ROAD
HENDERSONVILLE, NC 28792
828.693.1022

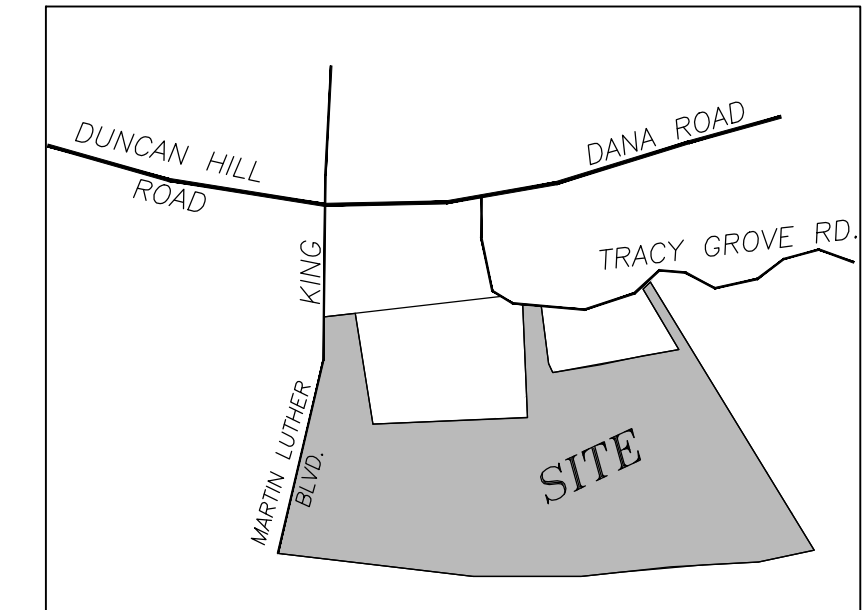
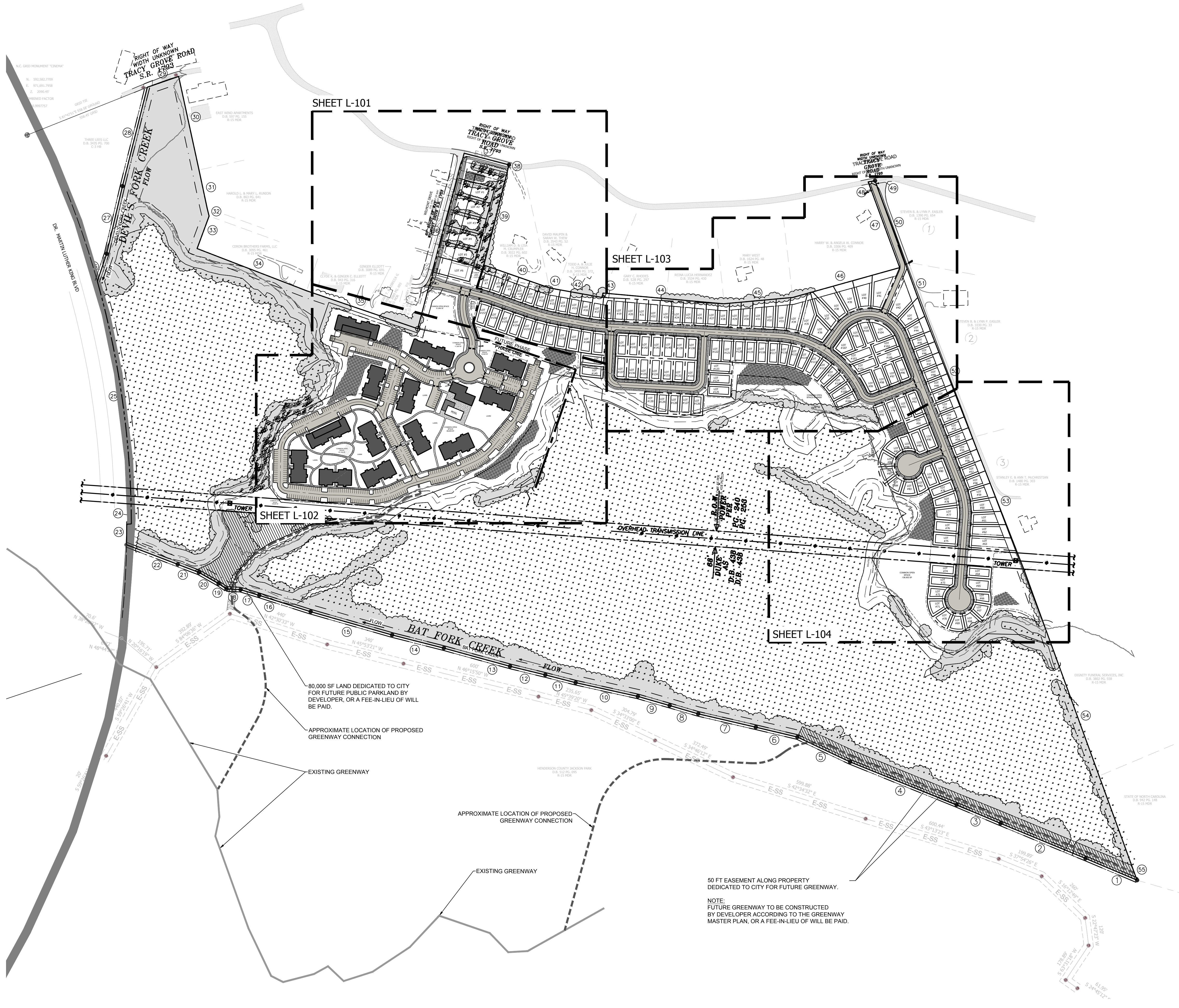


VICINITY MAP
NTS

PROPERTY INFORMATION
PROPERTY PIN: 9578-39-5229
SIZE OF PROPERTY: 161.47 AC

DRAWING INDEX

SHEET #	SHEET TITLE
C-2.0	OVERALL EXISTING CONDITIONS & TREE SURVEY
C-2.1	EXISTING CONDITIONS & TREE SURVEY
C-2.2	EXISTING CONDITIONS & TREE SURVEY
C-2.3	EXISTING CONDITIONS & TREE SURVEY
C-2.4	EXISTING CONDITIONS & TREE SURVEY
L-100	PRELIMINARY SITE PLAN REFERENCE SHEET
L-101	PRELIMINARY SITE PLAN
L-102	PRELIMINARY SITE PLAN
L-103	PRELIMINARY SITE PLAN
L-104	PRELIMINARY SITE PLAN
L-200	PRELIMINARY LANDSCAPE PLAN REFERENCE SHEET
L-201	PRELIMINARY LANDSCAPE PLAN
L-202	PRELIMINARY LANDSCAPE PLAN
L-203	PRELIMINARY LANDSCAPE PLAN
L-204	PRELIMINARY LANDSCAPE PLAN
L-600	SHADOW STUDY PLAN
L-601	SHADOW STUDY PLAN
C-5.0	OVERALL STORMWATER & UTILITY PLAN
C-5.1	STORMWATER & UTILITY PLAN
C-5.2	STORMWATER & UTILITY PLAN
C-5.3	STORMWATER & UTILITY PLAN
C-5.4	STORMWATER & UTILITY PLAN



VICINITY MAP - NTS

PROPERTY OWNER:
 THOMAS, MARGARET S TRUSTEE; ROYCE P THOMAS TRUST; THOMAS, MARGARET S; THOMAS, CHARLES W TRUSTEE; THOMAS, DORA E TRUSTEE; CHARLES W THOMAS AND DORA E THOMAS
 830 4TH AVE W - HENDERSONVILLE, NC 28739; 5050 E SAINT ANDREWS DR - TUCSON, AZ 85718

DEVELOPER CONTACT:
 MIKE WASHBURN
 PO BOX 898 - SULLIVANS ISLAND, SC 29842
 828-343-3947

LANDSCAPE ARCHITECT:
 ROB DULL, PLA
 SITEWORK STUDIOS, PLLC
 82 PATTON AVENUE, SUITE 700
 ASHEVILLE, NC 28801
 828.225.4945

CIVIL ENGINEER:
 JOHN KINNAIRD, PE
 BROOKS ENGINEERING ASSOCIATES, PA
 17 ARLINGTON STREET
 ASHEVILLE, NC 28801
 828.232.4700

SURVEYOR:
 WAGGONER & RHODES LAND SURVEYORS, INC.
 545 OLD SPARTANBURG ROAD
 HENDERSONVILLE, NC 28792
 828.693.1022

ZONING:
 CURRENT ZONING: PRD PLANNED RESIDENTIAL DEVELOPMENT
 PROPOSED ZONING: PRD PLANNED RESIDENTIAL DEVELOPMENT
 CONDITIONAL ZONING DISTRICT CLASSIFICATION

PROPOSED USE: RESIDENTIAL
 300 APARTMENT UNITS
 160 SINGLE FAMILY HOME LOTS

PIN: 9578-39-5229
SIZE OF PROPERTY: 161.47 AC
SIZE OF PROPERTY MINUS FLOODWAY AREA: 56.8 AC

EXISTING IMPERVIOUS SURFACE:
 0 SF (0 ACRES)

PROPOSED IMPERVIOUS SURFACE:
 944,220 SF (21.67 AC)
 13.4% OF SITE

DENSITY:
 MAXIMUM ALLOWABLE DENSITY: 10 UNITS PER ACRE
 PROPOSED DENSITY: 2.8 UNITS PER ACRE

TOTAL PROJECT AREA CALCULATIONS:

FOOTPRINT REQUIREMENT:
 MAXIMUM 20% ALLOWABLE SITE FOOTPRINT: 32.3 ACRES
 PROPOSED FOOTPRINT: 22.1 ACRES (13.7% OF SITE)

OPEN SPACE REQUIREMENT:
 MINIMUM 60% OF SITE TO BE OPEN SPACE: 98 ACRES
 PROPOSED OPEN SPACE: 139.4 ACRES (86% OF SITE)

COMMON OPEN SPACE:
 REQUIRED AT 500 SF PER APT. DWELLING UNIT: 150,000 SF (3.4 AC)
 REQUIRED AT 500 SF PER SINGLE FAMILY LOT: 80,000 SF (1.83 AC)
 PROPOSED COMMON OPEN SPACE: 528,850 SF (12.1 AC)

DEDICATION OF PUBLIC PARK AT 500 SF PER LOT = 80,000 SF
GREENWAY DEDICATION AT 50FT WIDE GREENWAY EASEMENT

MIN. CONNECTIVITY INDEX FOR "OTHER DISTRICTS" ZONING = 1.40
PROPOSED CONNECTIVITY INDEX WITH 16LINKS/11NODES = 1.45

BUILDING COVERAGE = 451,958 SF / 10.4 AC (6.4% OF SITE)
STREETS AND PARKING = 348,646 SF / 8 AC (4.9% OF SITE)
SIDEWALKS = 160,718 SF / 3.7 AC (2.3% OF SITE)

TOTAL PROJECT AREA: 1,814,350 (41.7 ACRES)

SETBACKS:
 MINIMUM 40 FT SETBACK FROM NEAREST ROW FROM ANY STREET.
 MINIMUM 30 FT SETBACK FROM ANY EXTERIOR PROPERTY LINE.
 MINIMUM 35 FT SETBACK FROM ROAD CENTERLINE.

BUILDING HEIGHT MAXIMUM: 35 FT
PROPOSED BUILDING HEIGHT: 48FT (HEIGHT LIMITATION EXEMPTION)

PARKING REQUIREMENTS:

REQUIRED AT 1.5 SPACES PER 1-2 BEDROOM UNIT & 2 SPACES PER 3+ BEDROOM UNIT
PROPOSED APARTMENT BUILDING UNITS: 270 UNITS (1-2 BEDROOMS) + 30 UNITS (3 BEDROOMS)
REQUIRED PARKING = 465 SPACES
PROVIDED PARKING = 515 SPACES (INCLUDING 12 HC SPACES)

NOTES:
 1. ALL PROPOSED ENTRANCE AND EXIT POINTS SHALL FOLLOW THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S POLICY ON STREET AND DRIVEWAY ACCESS TO NC HIGHWAYS.
 2. PROJECT SITE IS WITHIN THE HENDERSONVILLE CITY LIMITS.



WASHBURN PROPERTY DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL ZONING REVIEW

DATE:
03.02.22

SHEET TITLE:

PRELIMINARY SITE PLAN REFERENCE SHEET

SHEET NO.

L-100



WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

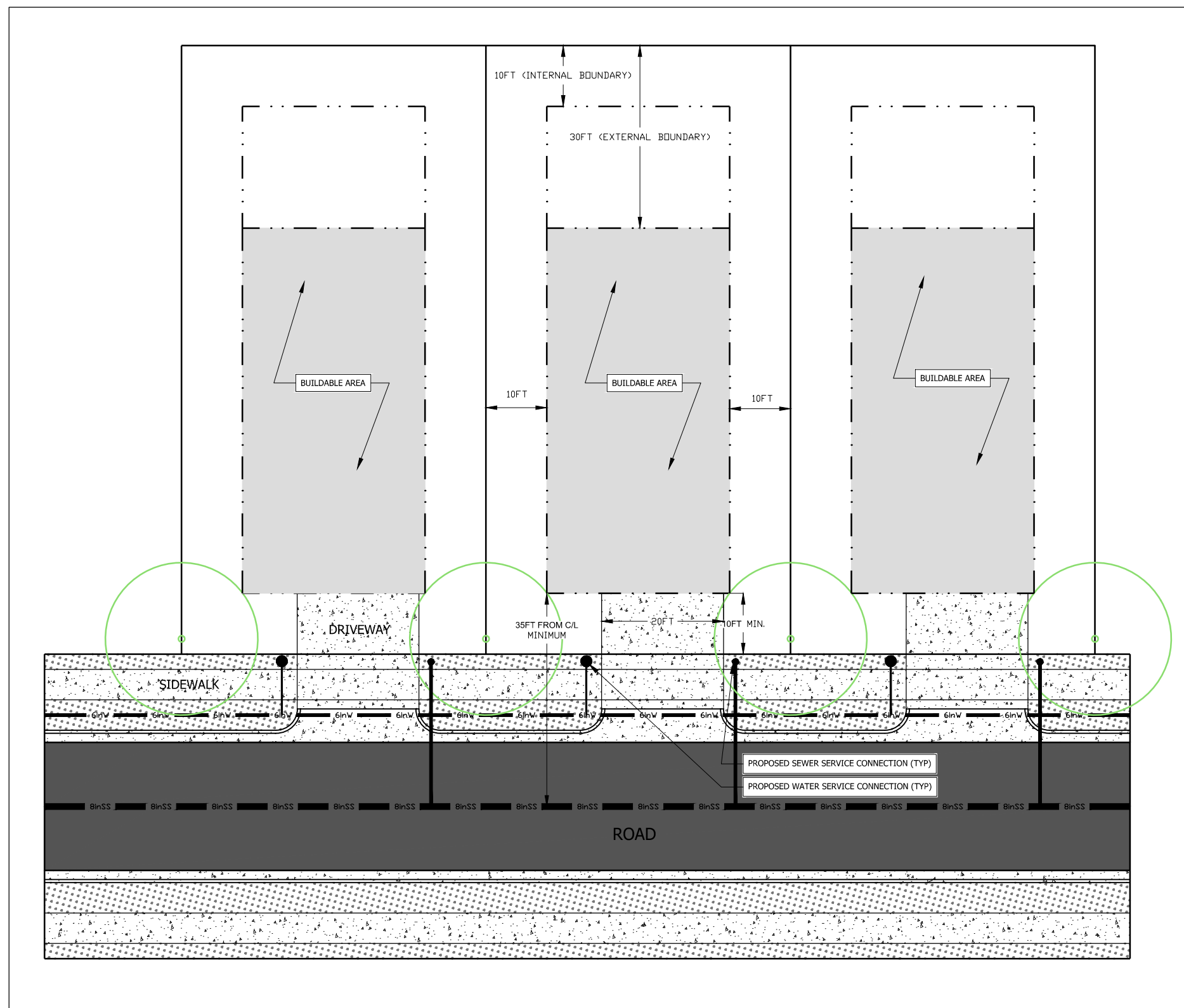
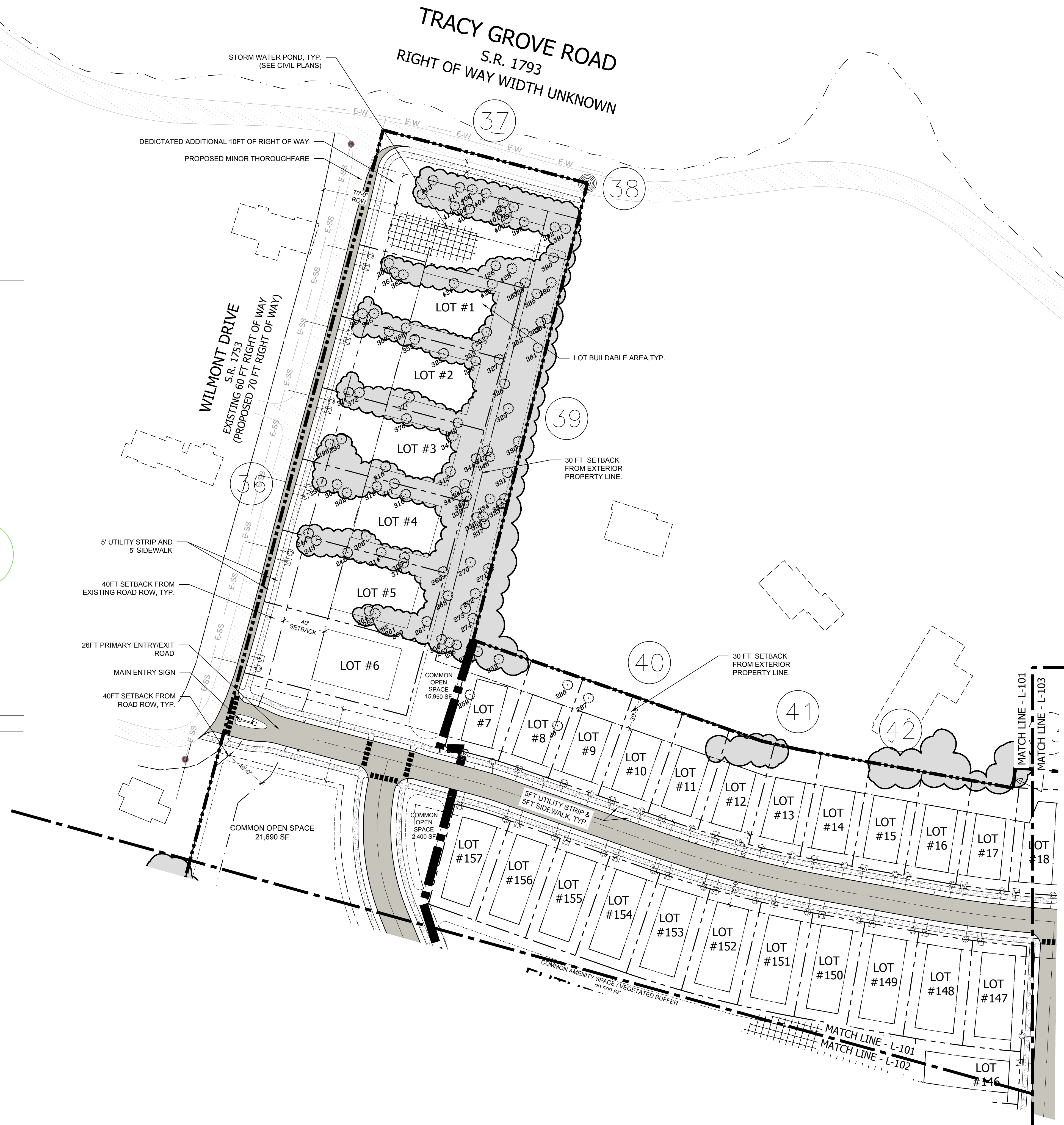
DATE:
03.02.2021

SHEET TITLE:

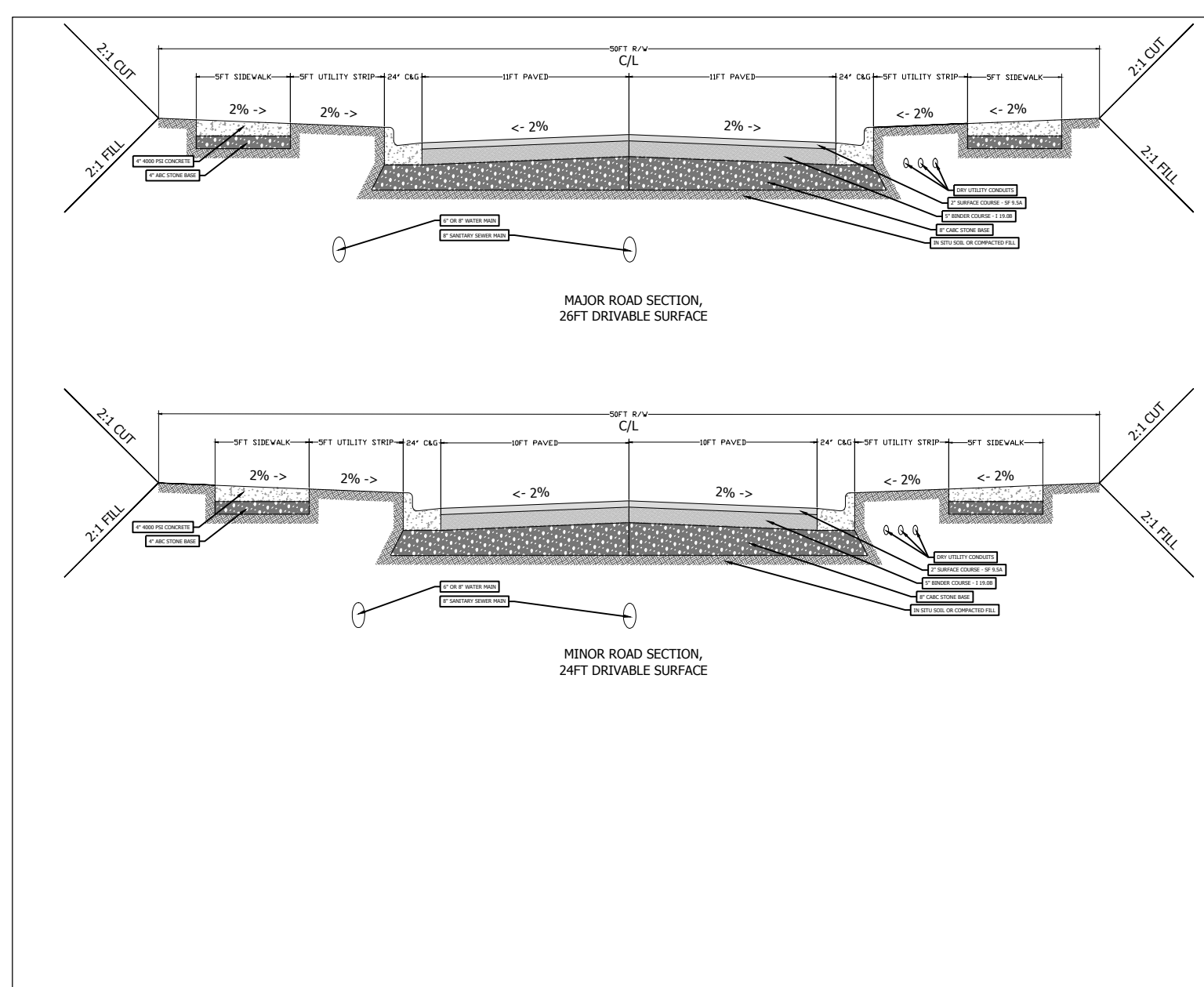
PRELIMINARY
SITE PLAN

SHEET NO.

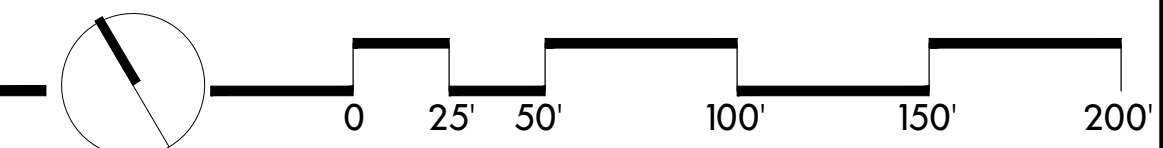
L-101

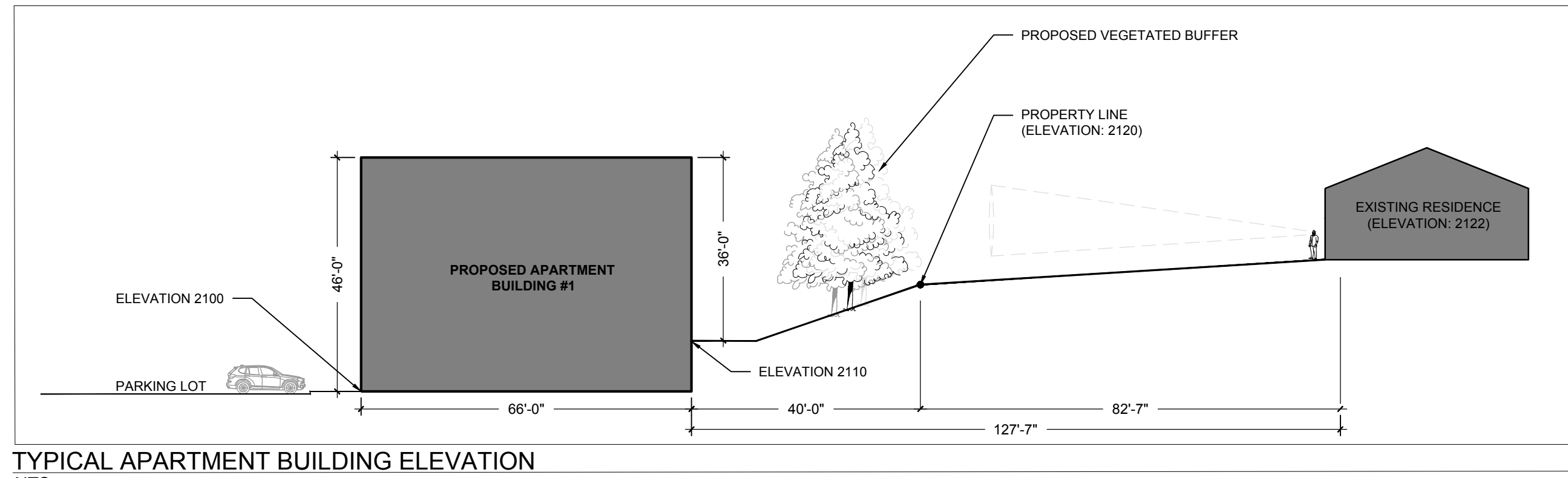


TYPICAL SINGLE FAMILY LOT LAYOUT
SCALE: 1" = 10'



26FT AND 24FT ROAD SECTIONS
SCALE: 3/8" = 1'





sitework
STUDIOS

LANDSCAPE ARCHITECTURE
60 Pickett Avenue | Suite 700 | Asheville, NC 28801 | 828.255.4945

NOT FOR CONSTRUCTION

WASHBURN PROPERTY DEVELOPMENT

PREPARED FOR:

REVISIONS		
NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL ZONING REVIEW

DATE:
03.02.2021

SHEET TITLE:
PRELIMINARY SITE PLAN

SHEET NO.
L-102



WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

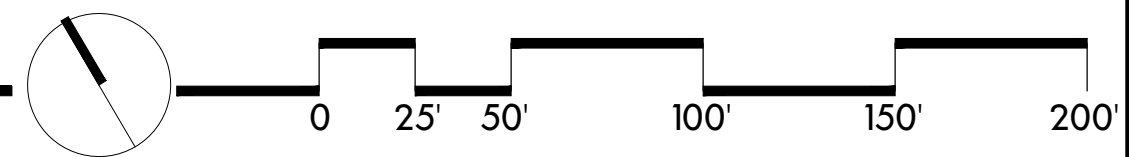
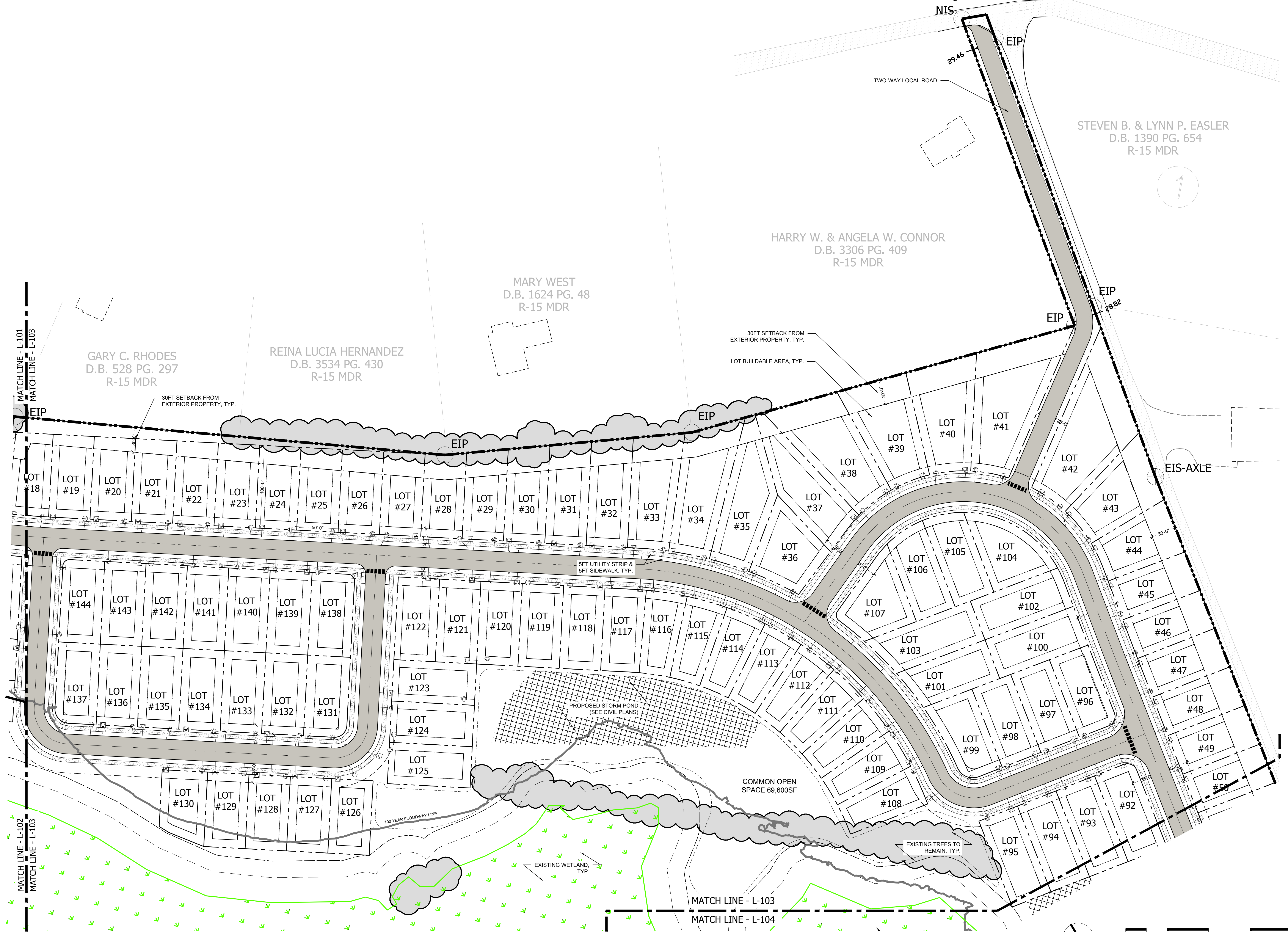
DATE:
03.02.2021

SHEET TITLE:

PRELIMINARY
SITE PLAN

SHEET NO.

L-103





WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

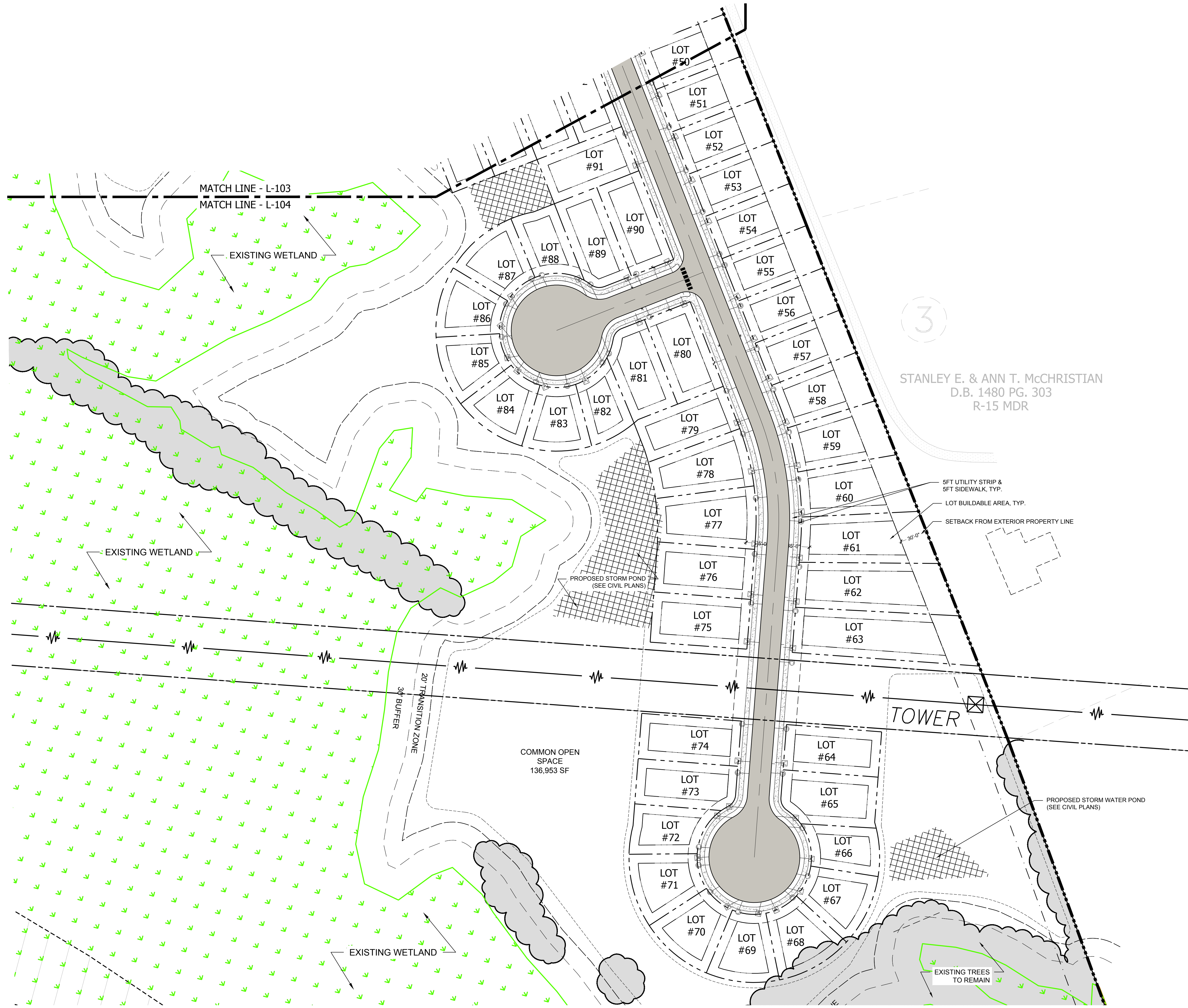
DATE:
03.02.2021

SHEET TITLE:

PRELIMINARY
SITE PLAN

SHEET NO.

L-104



3

STANLEY E. & ANN T. McCHRISTIAN
D.B. 1480 PG. 303
R-15 MDR

5FT UTILITY STRIP &
5FT SIDEWALK, TYP.
LOT BUILDABLE AREA, TYP.
SETBACK FROM EXTERIOR PROPERTY LINE

PROPOSED STORM POND
(SEE CIVIL PLANS)

COMMON OPEN
SPACE
136,953 SF

PROPOSED STORM WATER POND
(SEE CIVIL PLANS)

TOWER

EXISTING TREES
TO REMAIN

MATCH LINE - L-103
MATCH LINE - L-104

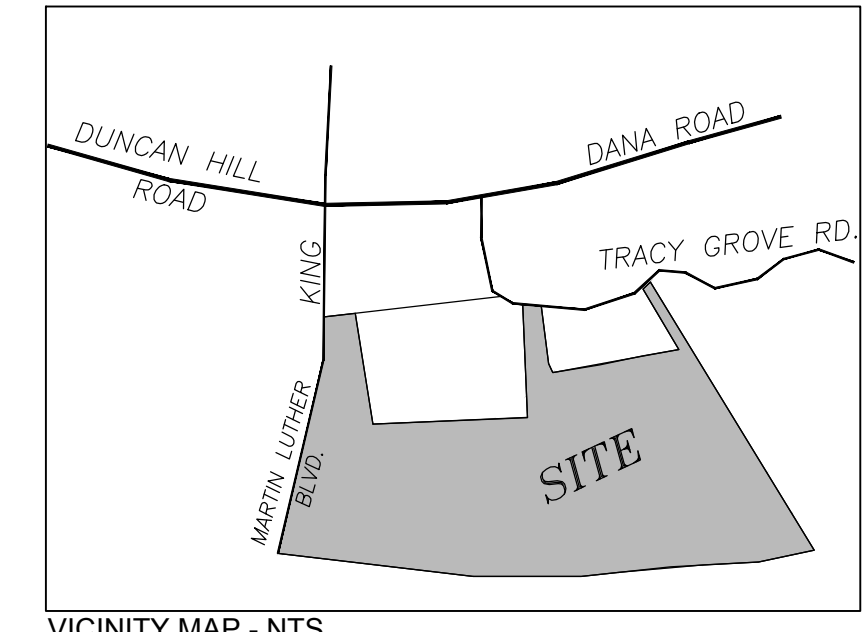
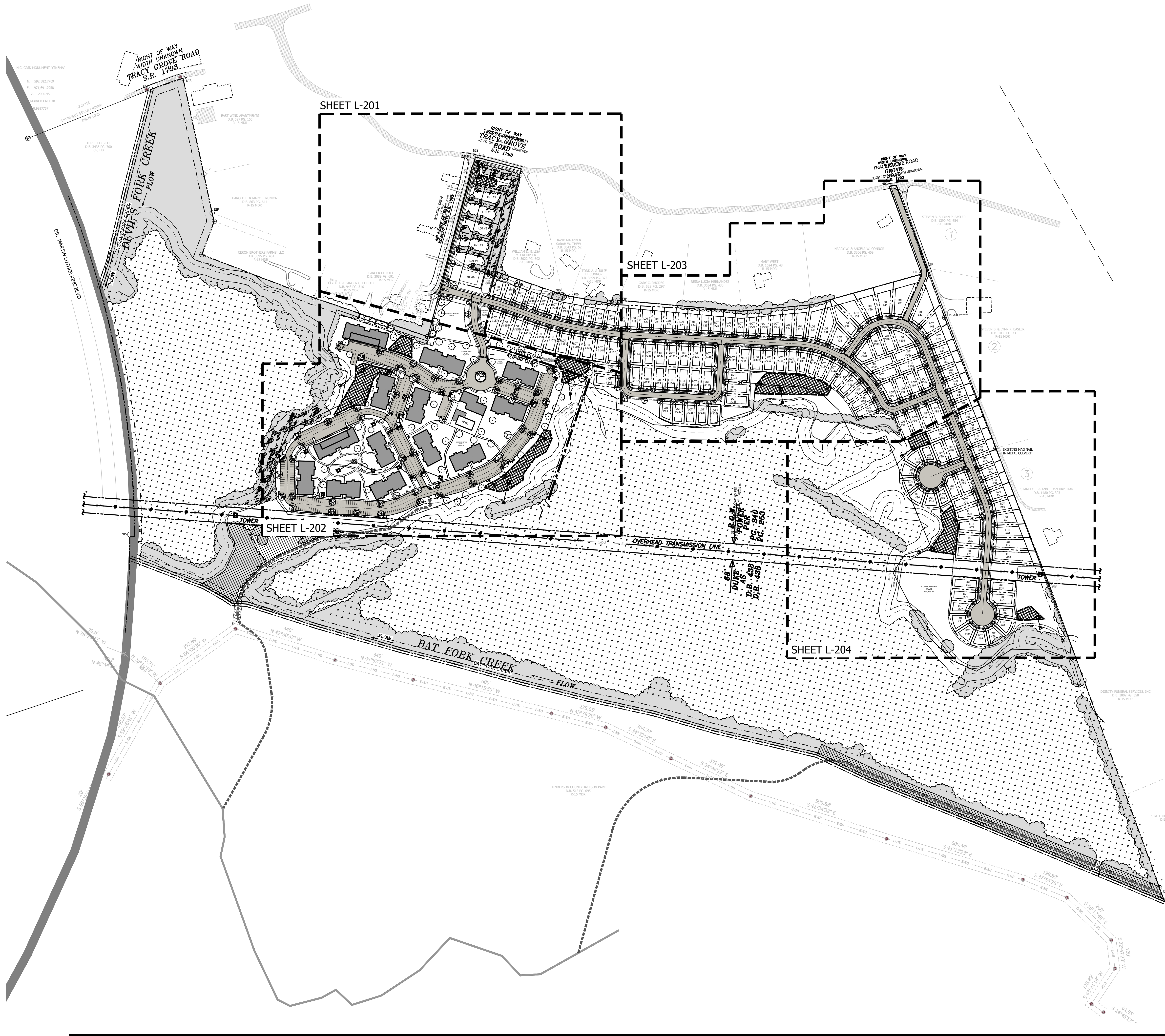
EXISTING WETLAND

EXISTING WETLAND

EXISTING WETLAND

20' TRANSITION ZONE
30' BUFFER

0 25 50 100 150 200'



VICINITY MAP - NTS

PROPERTY OWNER:
 THOMAS, MARGARET S TRUSTEE; ROYCE P THOMAS TRUST; THOMAS, MARGARET S; THOMAS, CHARLES W TRUSTEE; THOMAS, DORA E TRUSTEE; CHARLES W THOMAS AND DORA E THOMAS
 830 4TH AVE W - HENDERSONVILLE, NC 28739; 5050 E SAINT ANDREWS DR - TUCSON, AZ 85718

DEVELOPER CONTACT:
 MIKE WASHBURN
 PO BOX 898 - SULLIVANS ISLAND, SC 29842
 828-343-3947

LANDSCAPE ARCHITECT:
 ROB DULL, PLA
 SITEWORK STUDIOS, PLLC
 82 PATTON AVENUE, SUITE 700
 ASHEVILLE, NC 28801
 828.225.4945

CIVIL ENGINEER:
 JOHN KINNAIRD, PE
 BROOKS ENGINEERING ASSOCIATES, PA
 17 ARLINGTON STREET
 ASHEVILLE, NC 28801
 828.232.4700

SURVEYOR:
 WAGGONER & RHODES LAND SURVEYORS, INC.
 545 OLD SPARTANBURG ROAD
 HENDERSONVILLE, NC 28792
 828.693.1022

ZONING:
 CURRENT ZONING: PRD PLANNED RESIDENTIAL DEVELOPMENT
 PROPOSED ZONING: PRD PLANNED RESIDENTIAL DEVELOPMENT
 CONDITIONAL ZONING DISTRICT CLASSIFICATION

PROPOSED USE: RESIDENTIAL
 300 APARTMENT UNITS
 160 SINGLE FAMILY HOME LOTS

PIN: 9578-39-5229

SIZE OF PROPERTY: 161.47 AC

PARKING REQUIREMENTS:

REQUIRED AT 1.5 SPACES PER 1-2 BEDROOM UNIT & 2 SPACES PER 3+ BEDROOM UNIT
 PROPOSED APARTMENT BUILDING UNITS: 270 UNITS (1-2 BEDROOMS) + 30 UNITS (3 BEDROOMS)
 REQUIRED PARKING = 465 SPACES
 PROVIDED PARKING = 515 SPACES

LANDSCAPE REQUIREMENTS:

BUFFERYARD:
 NONE REQUIRED

PARKING LOT LANDSCAPE REQUIREMENTS (VUA):

1 TREE / 2 SHRUBS PER 4,000 SF OF VEHICULAR USE AREA (VUA)
 TOTAL SQUARE FOOTAGE OF VUA = 348,646 SF
 PLANTINGS REQUIRED = 47 TREES / 93 SHRUBS
 NUMBER OF TREES PROVIDED = 57 TREES
 NUMBER OF SHRUBS PROVIDED = 184 SHRUBS
 *NO SINGLE TREE SPECIES SHALL COMPRISE OF MORE THAN 25% OF TREES PLANTED.

STREET TREE NOT REQUIRED YET PROPOSED (ST):

NUMBER OF STREET TREES PROVIDED = 173 TREES
 *NO SINGLE TREE SPECIES SHALL COMPRISE OF MORE THAN 25% OF TREES PLANTED.

SCREENING LANDSCAPE REQUIREMENT (SP):

5FT PLANTING STRIP REQUIRED AROUND DUMPSTER FENCE.
 NUMBER OF SCREEN PLANTS PROVIDED = 14

PLANTING STRIP LANDSCAPE REQUIREMENT (PS):

NONE REQUIRED

STREET BUFFER LANDSCAPE REQUIREMENTS:

NONE REQUIRED

ADDITIONAL LANDSCAPE:

84 DECIDUOUS / EVERGREEN LANDSCAPE AND SCREEN TREES.



WASHBURN PROPERTY DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL ZONING REVIEW

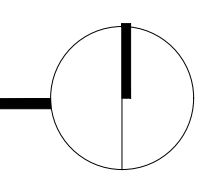
DATE:
03.02.22

SHEET TITLE:

PRELIMINARY LANDSCAPE PLAN REFERENCE SHEET

SHEET NO.

L-200





WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

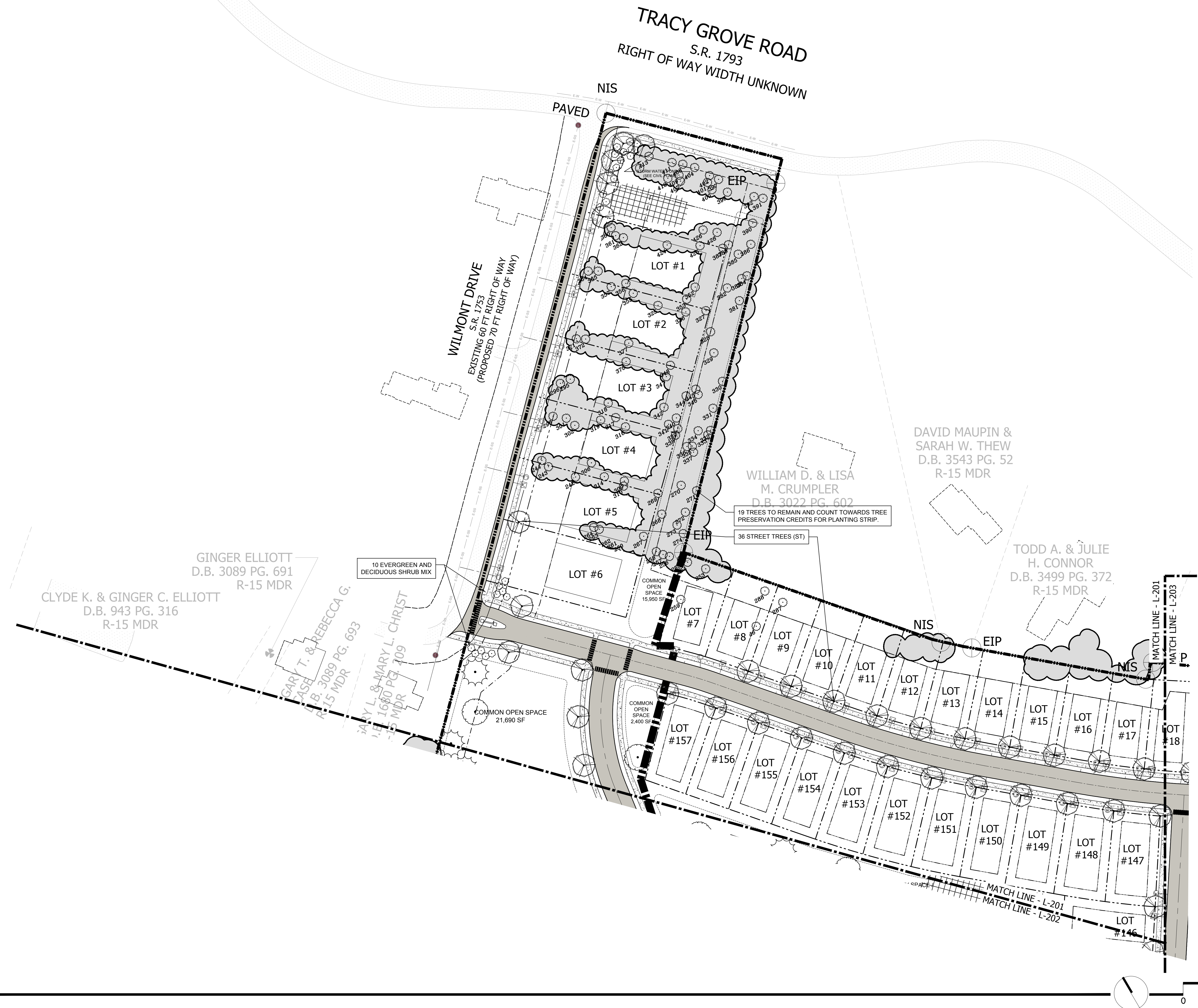
DATE:
03.02.2021

SHEET TITLE:

PRELIMINARY
LANDSCAPE PLAN

SHEET NO.

L-201



TRACY GROVE ROAD
S.R. 1793
RIGHT OF WAY WIDTH UNKNOWN

WILMONT DRIVE
S.R. 1753
EXISTING 60 FT RIGHT OF WAY
(PROPOSED 70 FT RIGHT OF WAY)

DAVID MAUPIN &
SARAH W. THEW
D.B. 3543 PG. 52
R-15 MDR

WILLIAM D. & LISA
M. CRUMPLER
D.B. 3022 PG. 602
R-15 MDR

TODD A. & JULIE
H. CONNOR
D.B. 3499 PG. 372
R-15 MDR

GINGER ELLIOTT
D.B. 3089 PG. 691
R-15 MDR

CLYDE K. & GINGER C. ELLIOTT
D.B. 943 PG. 316
R-15 MDR

GARY T. & REBECCA G.
D.B. 3089 PG. 693
R-15 MDR

JAY L. & MARY L. CHRIST
D.B. 1680 PG. 409
R-15 MDR

19 TREES TO REMAIN AND COUNT TOWARDS TREE
PRESERVATION CREDITS FOR PLANTING STRIP.

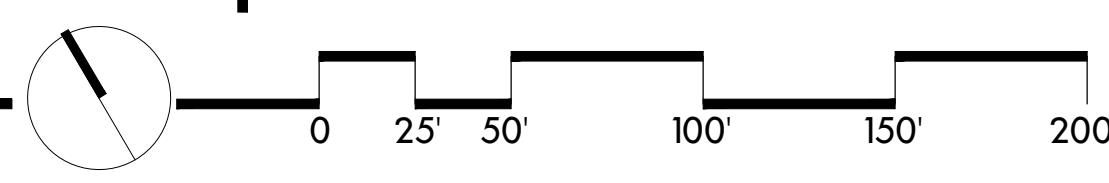
36 STREET TREES (ST)

COMMON OPEN
SPACE
21,690 SF

COMMON
OPEN
SPACE
2,400 SF

MATCH LINE - L-201
MATCH LINE - L-202

MATCH LINE - L-201
MATCH LINE - L-203





WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

DATE:
03.02.2021

SHEET TITLE:

PRELIMINARY
LANDSCAPE PLAN

SHEET NO.

L-202





WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

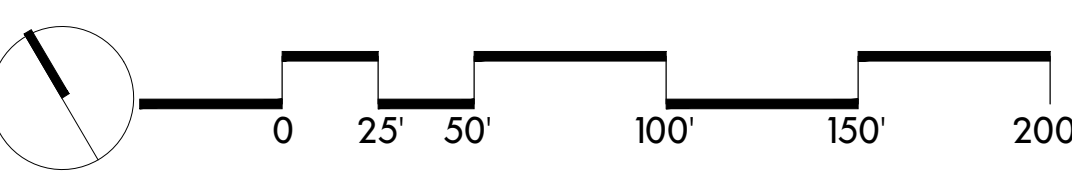
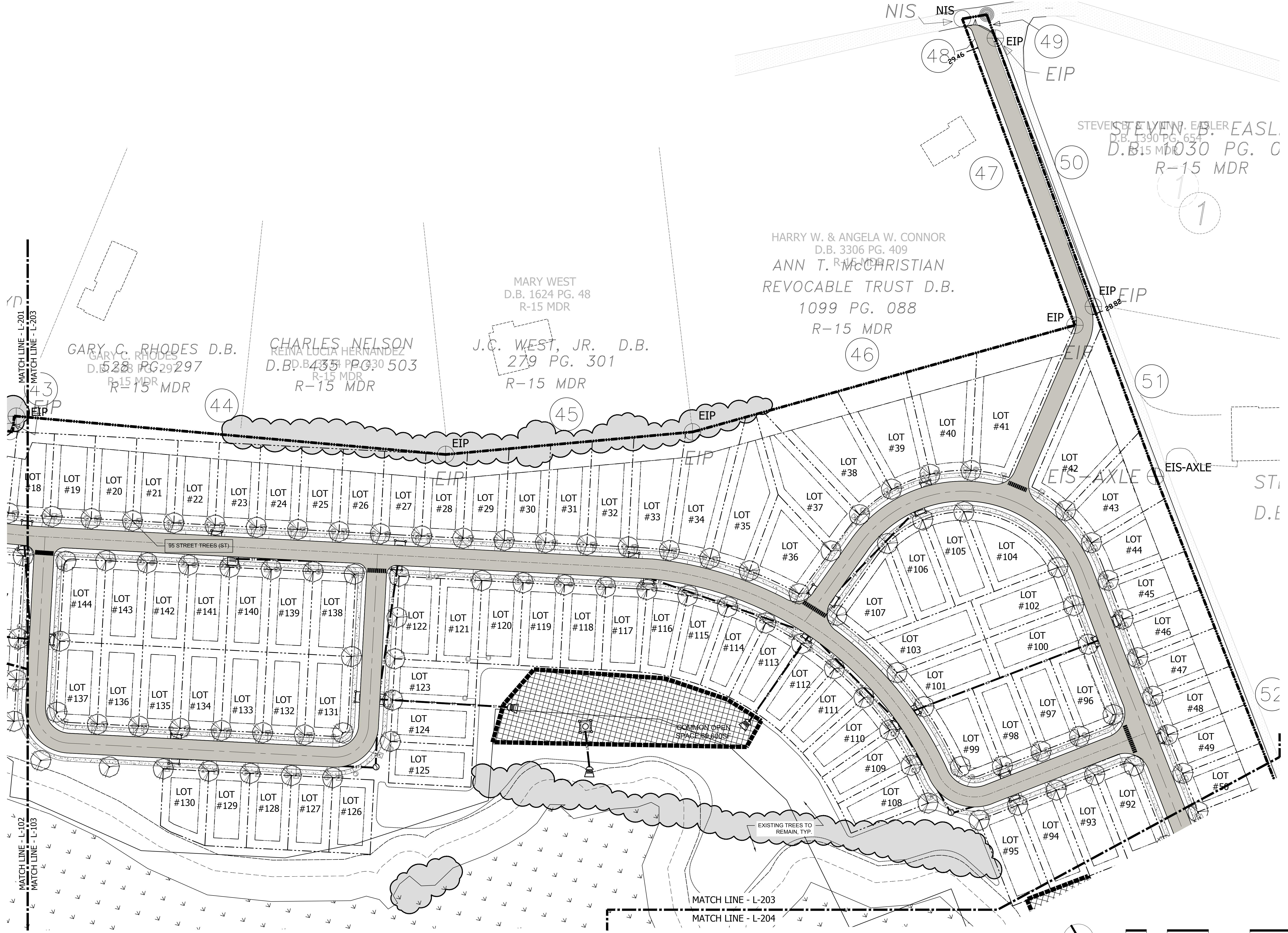
DATE:
03.02.2021

SHEET TITLE:

PRELIMINARY
LANDSCAPE PLAN

SHEET NO.

L-203





WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS

NO.	REMARKS	DATE
1	TRC COMMENTS	12.17.2021
2	TRC COMMENTS	1.21.2022
3	REVISIONS	3.02.2022

CONDITIONAL
ZONING REVIEW

DATE:
03.02.2021

SHEET TITLE:

PRELIMINARY
LANDSCAPE PLAN

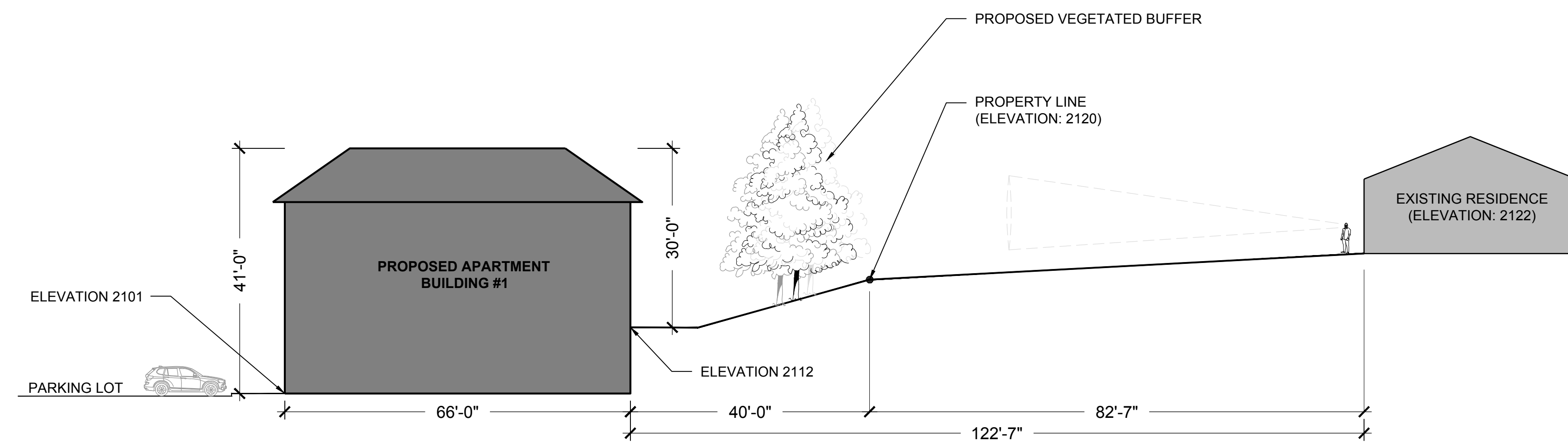
SHEET NO.

L-204

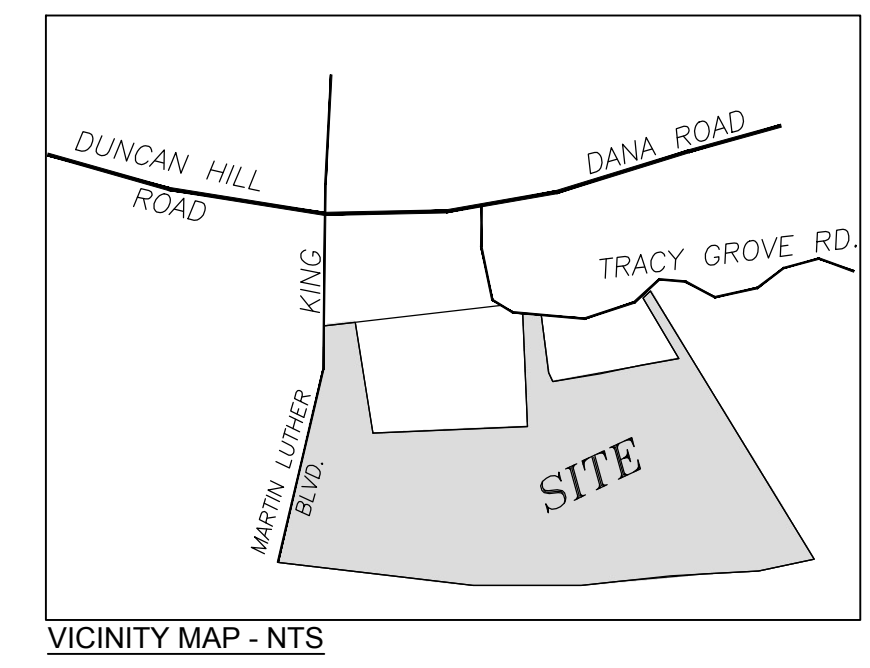




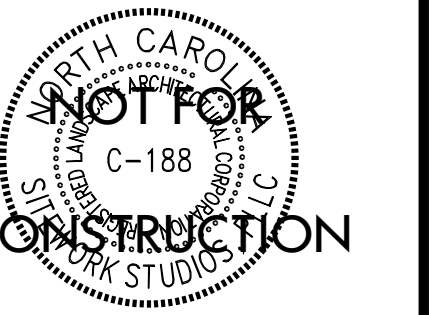
SHADOW STUDY AREA
SCALE: 1"=100'



APARTMENT AND ADJACENT PROPERTY SECTION
SCALE: 1"=100'



VICINITY MAP - NTS



WASHBURN PROPERTY DEVELOPMENT

PREPARED FOR:



OCTOBER 1ST - 10AM
NTS



OCTOBER 1ST - 12PM
NTS



OCTOBER 1ST - 2 PM
NTS



NOVEMBER 1ST - 10AM
NTS



NOVEMBER 1ST - 12PM
NTS



NOVEMBER 1ST - 2 PM
NTS



DECEMBER 1ST - 10AM
NTS



DECEMBER 1ST - 12PM
NTS



DECEMBER 1ST - 2 PM
NTS

REVISIONS		
NO.	REMARKS	DATE

CONDITIONAL ZONING REVIEW

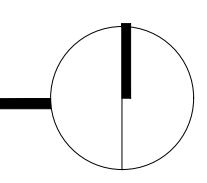
DATE:
12.21.2021

SHEET TITLE:

SHADOW
STUDY PLAN

SHEET NO.

L-600





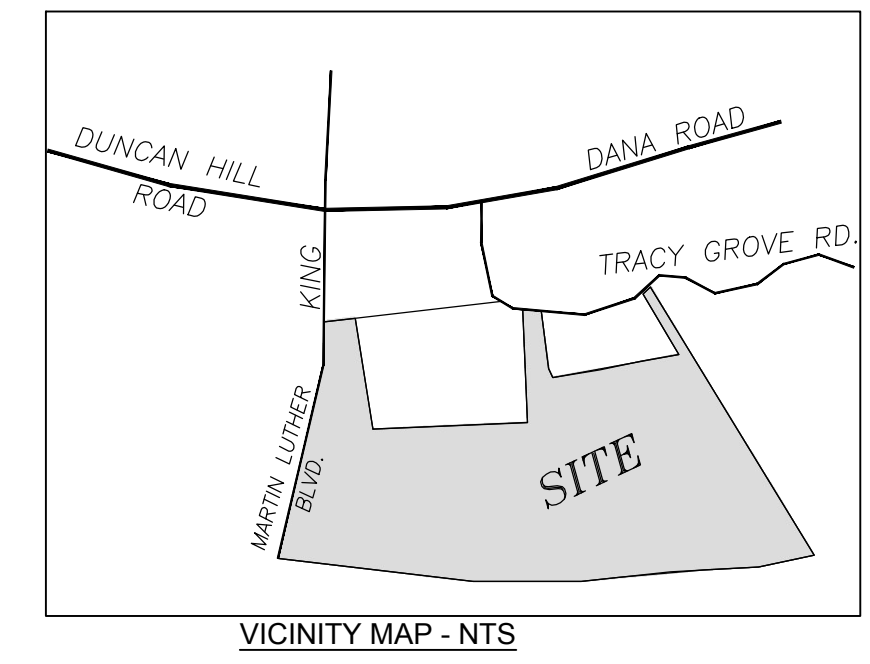
JANUARY 1ST - 10AM
NTS



JANUARY 1ST - 12PM
NTS



JANUARY 1ST - 2 PM
NTS



VICINITY MAP - NTS



FEBRUARY 1ST - 10AM
NTS



FEBRUARY 1ST - 12PM
NTS



FEBRUARY 1ST - 2 PM
NTS



MARCH 1ST - 10AM
NTS



MARCH 1ST - 12PM
NTS



MARCH 1ST - 2 PM
NTS



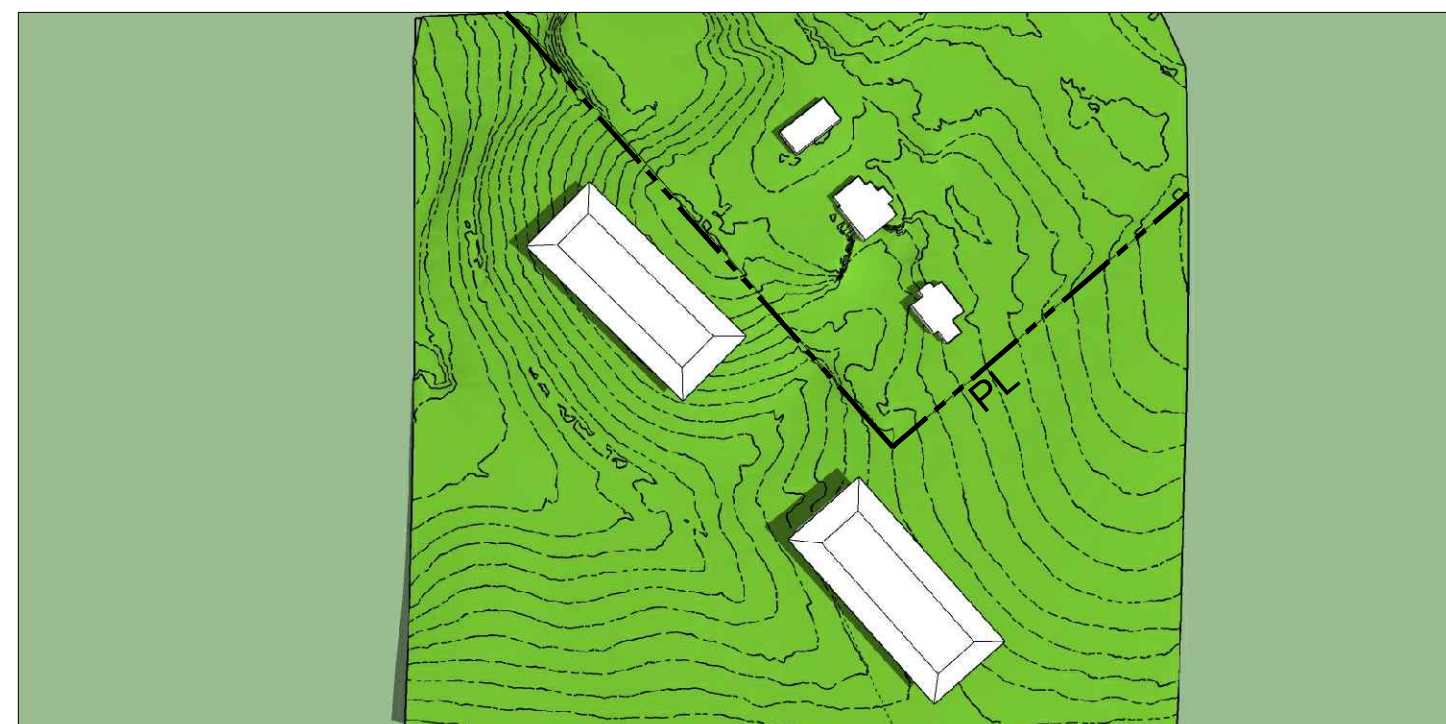
APRIL 1ST - 10AM
NTS



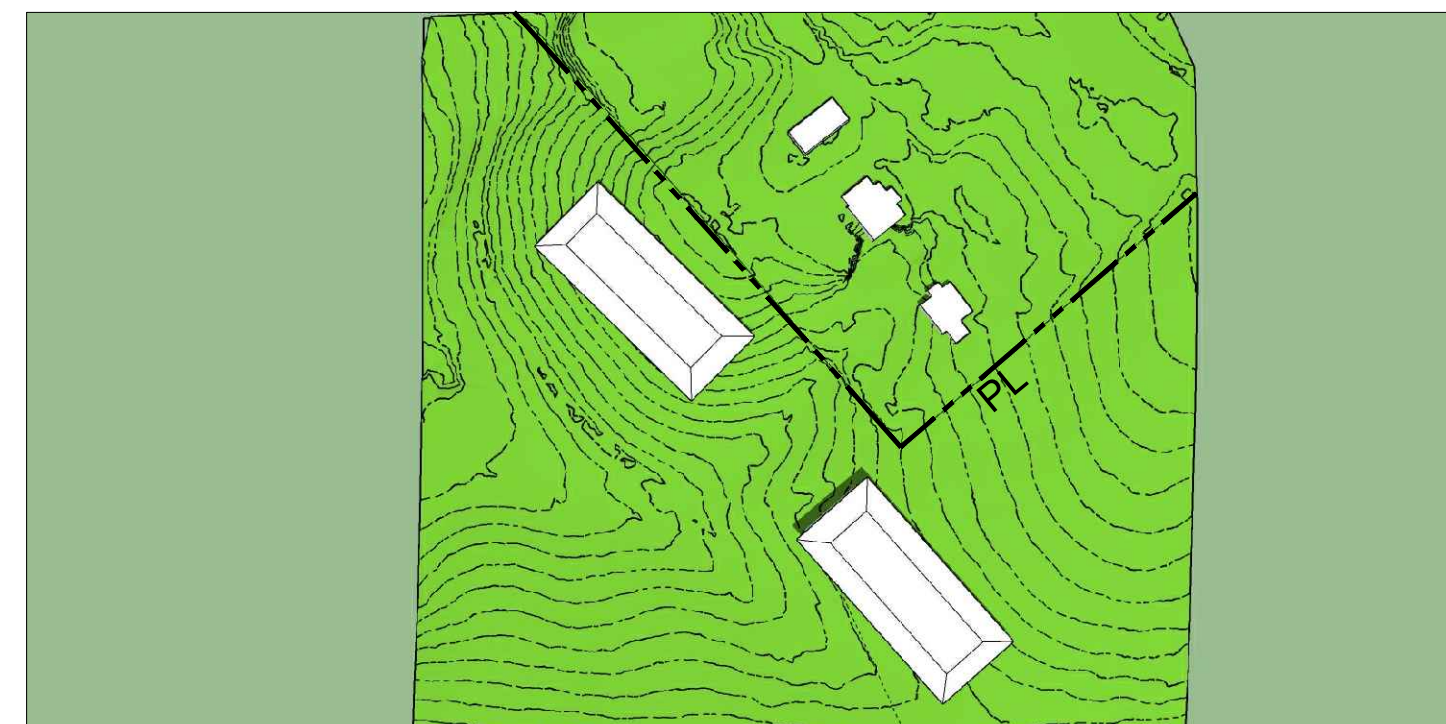
APRIL 1ST - 12PM
NTS



APRIL 1ST - 2 PM
NTS



MAY 1ST - 10AM
NTS



MAY 1ST - 12PM
NTS



MAY 1ST - 2 PM
NTS



WASHBURN PROPERTY
DEVELOPMENT

PREPARED FOR:

REVISIONS		
NO.	REMARKS	DATE

CONDITIONAL
ZONING REVIEW

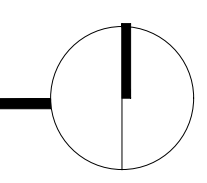
DATE:
12.21.2021

SHEET TITLE:

SHADOW
STUDY PLAN

SHEET NO.

L-601

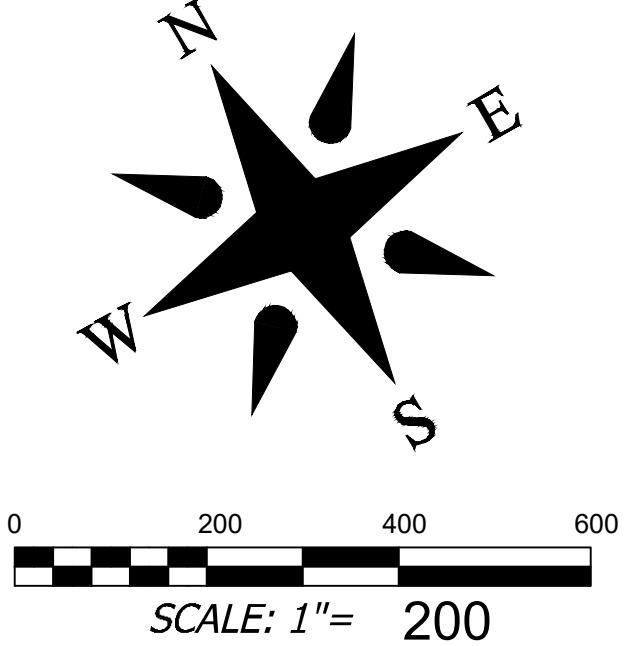
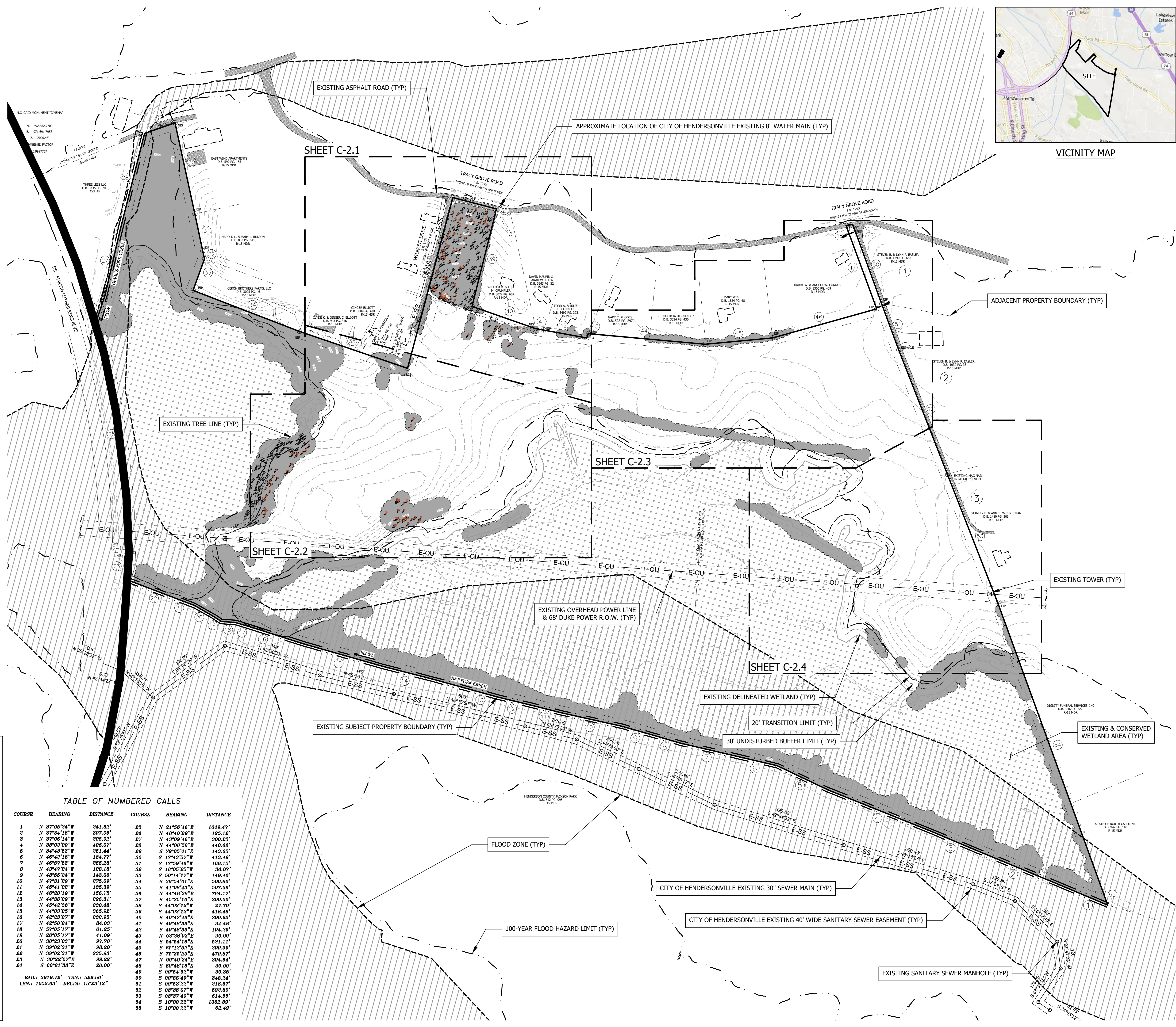


EXIST. CONDITIONS LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CORNER TREE FOUND
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXIST. BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. SANITARY SEWER
- EXIST. WATER LINE
- EXIST. WATER METER
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- EXIST. OVERHEAD UTILITIES
- EXIST. POWER POLE
- EXIST. UNDERGRND UTILITIES
- EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- EXIST. TREE



VICINITY MAP



DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.43 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE

 ROBERT T. LOVE
 828-685-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER NC
 EMAIL: ANDY@TFMNCAROLINA.COM
 PHONE: 616 402 0367
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDEL PE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDEL@BROOKSEA.COM
 PHONE: 828-232-4700
 LANDSCAPE ARCH: ---
 CONTACT: ---
 ADDRESS: ---

 EMAIL: ---
 PHONE: ---

TABLE OF NUMBERED CALLS

COURSE	BEARING	DISTANCE	COURSE	BEARING	DISTANCE
1	N 37°05'24"W	241.82'	25	N 21°58'16"E	1049.47'
2	N 37°34'18"W	397.06'	26	N 48°40'29"E	125.12'
3	N 37°08'14"W	205.92'	27	N 43°09'46"E	300.25'
4	N 39°02'09"W	496.07'	28	N 44°06'58"E	440.88'
5	N 34°43'53"W	251.44'	29	S 70°05'41"E	143.05'
6	N 46°42'18"W	184.77'	30	S 17°43'57"W	413.49'
7	N 46°57'53"W	255.28'	31	S 17°59'46"W	188.15'
8	N 49°47'24"W	128.18'	32	S 10°05'25"W	38.07'
9	N 43°55'24"W	143.06'	33	S 60°14'17"W	148.40'
10	N 47°31'29"W	275.00'	34	S 38°54'01"E	506.80'
11	N 45°41'02"W	135.39'	35	S 41°08'43"E	507.06'
12	N 46°00'17"W	156.70'	36	N 44°48'38"E	784.17'
13	N 44°38'28"W	296.31'	37	S 45°25'10"E	200.00'
14	N 45°42'38"W	230.48'	38	S 44°02'12"W	27.70'
15	N 44°03'25"W	385.39'	39	S 44°02'12"W	418.48'
16	N 42°23'27"W	232.95'	40	S 40°43'49"E	399.95'
17	N 42°50'24"W	84.03'	41	S 49°48'39"E	34.48'
18	N 57°05'17"W	61.25'	42	S 49°48'39"E	194.39'
19	N 29°00'17"W	41.00'	43	N 62°28'00"E	20.00'
20	N 30°23'03"W	97.78'	44	S 54°54'16"E	621.11'
21	N 39°02'31"W	98.20'	45	S 65°12'52"E	299.59'
22	N 39°02'31"W	235.29'	46	S 70°55'25"E	479.87'
23	N 30°22'07"E	98.23'	47	N 09°49'34"E	394.64'
24	S 80°21'38"E	20.00'	48	S 69°48'18"E	30.00'
			49	S 09°54'52"W	30.35'
			50	S 09°53'49"W	345.24'
			51	S 09°53'22"E	218.67'
			52	S 08°38'07"W	592.89'
			53	S 08°07'49"W	614.55'
			54	S 10°00'25"W	1385.89'
			55	S 10°00'22"W	62.49'

RAD.: 3919.72" TAN.: 629.50"
 LEN.: 1052.63" DELTA: 15°23'12"

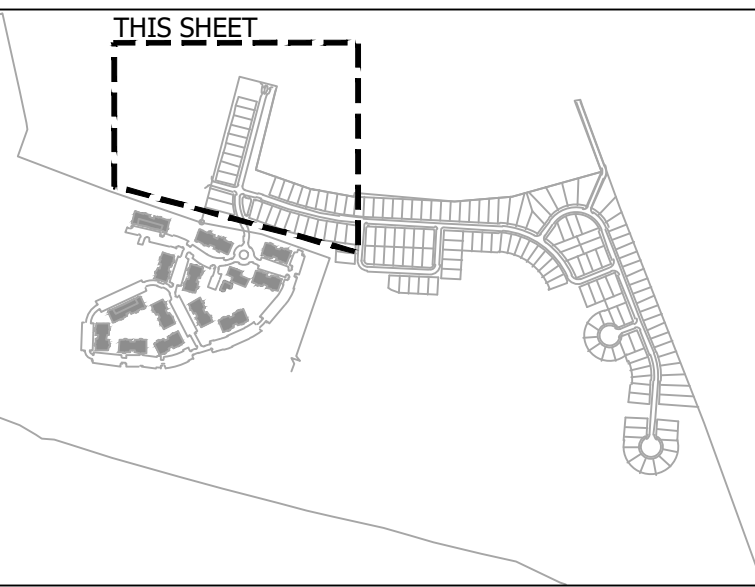
No.	1	WATER & SEWER ALLOCATIONS	Date	10-05-2021	
	2	CZD SUBMISSION	12-03-2021		
	3	CZD RESUBMISSION	12-17-2021		
	4	CZD RESUBMISSION	01-21-2022		
	5	SITE PLAN REVISIONS	03-02-22		
Reviewer:	JHK	Scale:	AS NOTED	Date:	03-02-2022
Designer:	EJH	Drawn:	LBC	Checked:	EJH
15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com					
			PRELIMINARY - NOT FOR CONSTRUCTION		
Project No:	543521L	Conditional Zoning Review			
Drawing Title:	C-2.0				
OVERALL EXISTING CONDITIONS & TREE SURVEY					

EXIST. CONDITIONS LEGEND

- EXIST. BOUNDARY
- EXIST. ADJACENT
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CORNER TREE FOUND
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. SANITARY SEWER
- EXIST. WATER LINE
- EXIST. FIRE METER
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- EXIST. OVERHEAD UTILITIES
- EXIST. POWER POLE
- EXIST. UNDERGRND UTILITIES
- EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- EXIST. TREE

TREE TABLE

POINT	DESCRIPTION	POINT	DESCRIPTION	POINT	DESCRIPTION
294	14" WHITE PINE	303	12" MAPLE	367	12" WHITE OAK
236	14" POPLAR	304	14" MAPLE	368	16" WHITE PINE
236	15" WHITE OAK	305	12" BLACK PINE	369	14" BLACK PINE
237	12" WHITE PINE	306	15" BLACK PINE	370	12" BLACK PINE
238	12" WHITE PINE	307	12" WHITE OAK	371	12" BLACK OAK
239	12" WHITE PINE	308	12" WHITE PINE	372	13" BLACK PINE
240	12" BLACK OAK	309	14" BLACK PINE	373	12" BLACK PINE
241	12" BLACK OAK	310	12" WHITE OAK	374	10" BLACK PINE
242	12" BLACK OAK	311	12" BLACK OAK	375	12" WHITE OAK
243	12" BLACK OAK	312	14" BLACK OAK	376	12" WHITE OAK
244	12" BLACK OAK	313	14" MAPLE	377	13" BLACK OAK
245	12" WHITE OAK	314	12" MAPLE	378	18" BLACK OAK
246	12" BLACK OAK	315	14" BLACK OAK	381	18" BLACK OAK
247	12" BLACK OAK	316	20" BLACK OAK	382	10" WHITE OAK
248	12" BLACK OAK	317	12" BLACK PINE	383	12" WHITE OAK
252	24" MAPLE	318	14" BLACK PINE	384	12" WHITE PINE
253	20" WHITE PINE	319	14" BLACK PINE	385	14" WHITE OAK
254	20" WHITE PINE	320	12" BLACK PINE	386	18" WHITE PINE
255	19" WHITE PINE	323	20" WHITE OAK	387	18" BLACK OAK
256	18" WHITE PINE	324	28" WHITE PINE	388	13" BLACK GUM
257	16" WHITE PINE	325	17" WHITE OAK	389	12" BLACK OAK
258	26" WHITE PINE	326	20" WHITE OAK	390	18" WHITE OAK
259	18" WHITE PINE	327	13" WHITE OAK	391	12" MAPLE
260	16" WHITE PINE	328	13" WHITE OAK	392	20" WHITE OAK
261	16" WHITE PINE	329	18" TWIN WHITE OAK	393	24" WHITE PINE
262	12" WHITE PINE	330	12" BLACK PINE	394	12" BLACK OAK
263	18" WHITE PINE	331	12" BLACK PINE	395	12" BLACK PINE
264	24" WHITE PINE	332	12" MAPLE	396	20" WHITE PINE
265	16" WHITE PINE	333	13" BLACK GUM	397	18" BLACK OAK
266	18" BLACK OAK	334	12" BLACK PINE	398	10" WHITE PINE
267	14" BLACK OAK	335	14" BLACK PINE	399	10" WHITE PINE
268	14" BLACK OAK	336	12" BLACK PINE	400	18" BLACK OAK
269	14" BLACK OAK	337	13" BLACK GUM	401	12" BLACK GUM
270	12" WHITE OAK	338	12" WHITE OAK	402	12" BLACK OAK
271	16" MAPLE	339	13" WHITE OAK	403	12" BLACK OAK
272	14" WHITE PINE	340	16" BLACK PINE	404	18" BLACK OAK
273	22" WHITE OAK	341	13" BLACK PINE	407	13" BLACK OAK
274	12" BLACK OAK	342	17" WHITE OAK	408	12" WHITE OAK
275	20" TWIN SYCAMORE	343	14" WHITE OAK	409	12" BLACK OAK
280	30" TWIN MAPLE	344	12" BLACK GUM	410	12" BLACK GUM
281	20" WHITE OAK	345	12" WHITE OAK	411	15" BLACK PINE
282	30" WHITE OAK	346	12" BLACK PINE	412	16" BLACK OAK
283	20" WHITE OAK	347	12" BLACK GUM	413	12" TRIPLE MAPLE
284	24" TWIN MAPLE	348	14" WHITE OAK	414	16" BLACK OAK
285	18" BLACK GUM	351	22" WHITE OAK	415	12" WHITE OAK
286	26" WHITE OAK	352	24" WHITE OAK	416	21" BLACK OAK
287	16" WHITE OAK	353	20" WHITE OAK	417	20" WHITE OAK
288	20" WHITE OAK	354	12" MAPLE	418	20" WHITE OAK
289	12" BLACK OAK	355	19" WHITE OAK	419	12" BLACK GUM
292	16" WHITE OAK	356	14" WHITE PINE	420	12" BLACK GUM
293	22" BLACK OAK	357	13" WHITE PINE SNAG	421	12" WHITE OAK
294	24" WHITE OAK	358	12" WHITE OAK	422	18" WHITE PINE
295	14" BLACK PINE	359	12" BLACK OAK	423	18" BLACK OAK
296	12" BLACK PINE	360	14" WHITE OAK	424	12" BLACK OAK
297	18" BLACK OAK	361	12" WHITE OAK	425	30" TWIN WHITE OAK
298	12" GUM	362	12" BLACK OAK	426	12" BLACK PINE
299	14" BLACK PINE	363	12" WHITE OAK	427	25" BLACK OAK
300	18" BLACK OAK	364	18" BLACK OAK	428	13" WHITE OAK
301	15" GUM	365	25" WHITE OAK	429	12" BLACK PINE
302	18" MAPLE	366	18" WHITE OAK		



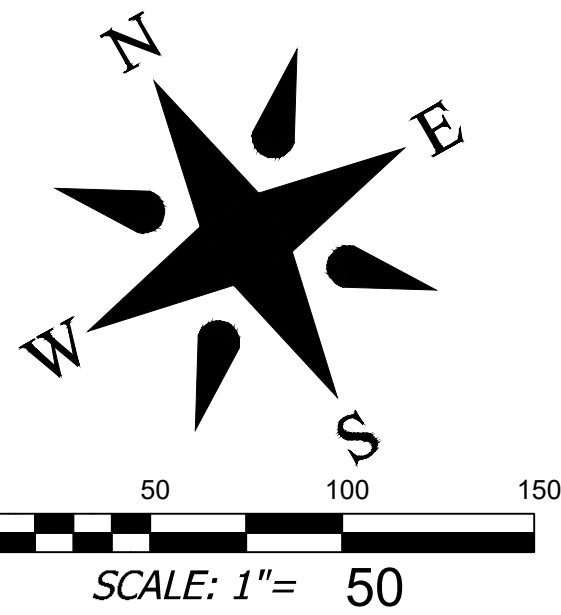
MAP KEY

DEVELOPMENT DATA

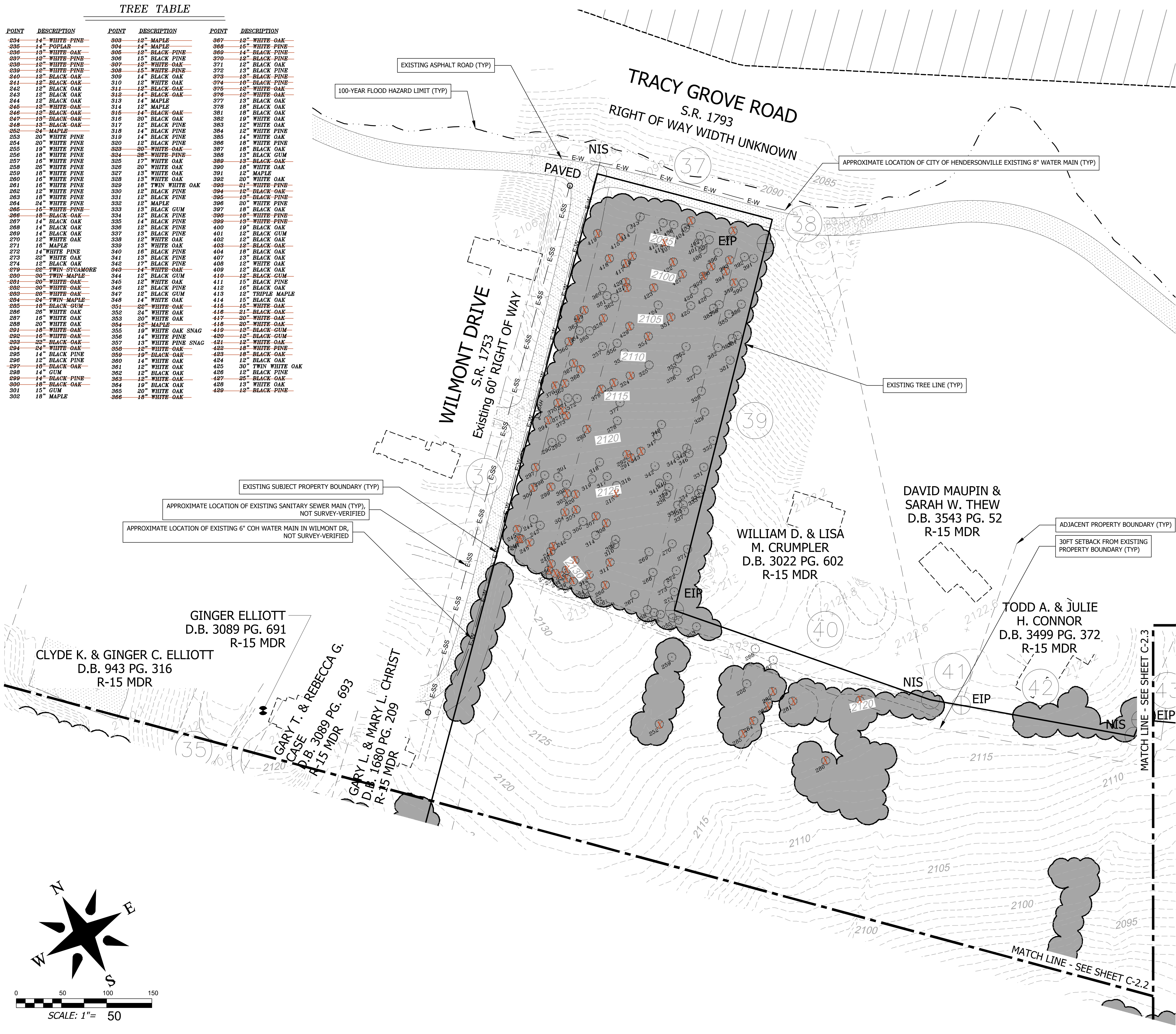
PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.43 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE

 ROBERT T. LOVE
 828-485-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER NC
 EMAIL: ANDY@TFMNCAROLINA.COM
 PHONE: 616 402 0367
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDSSEL PE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDSEL@BROOKSEA.COM
 PHONE: 828-232-4700
 LANDSCAPE ARCH: ---
 CONTACT: ---
 ADDRESS: ---

 EMAIL: ---
 PHONE: ---



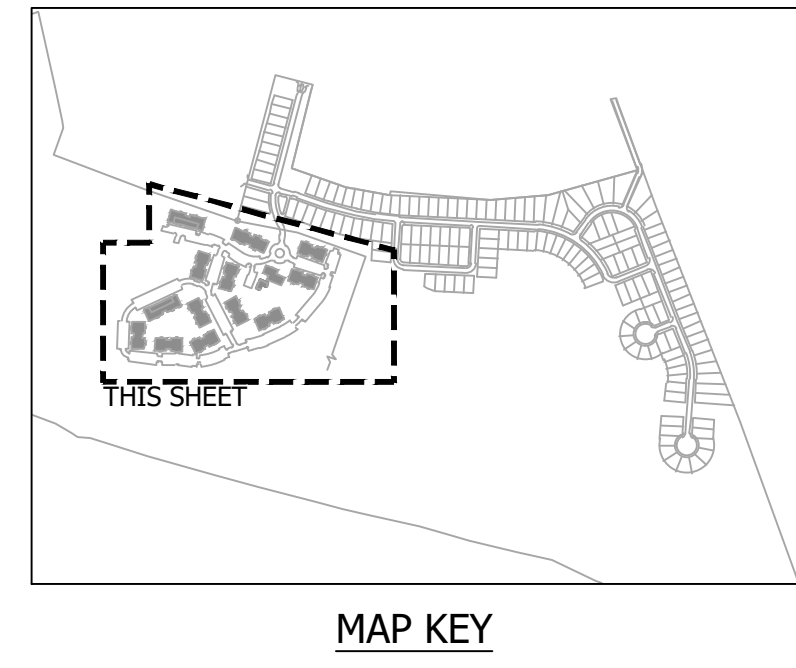
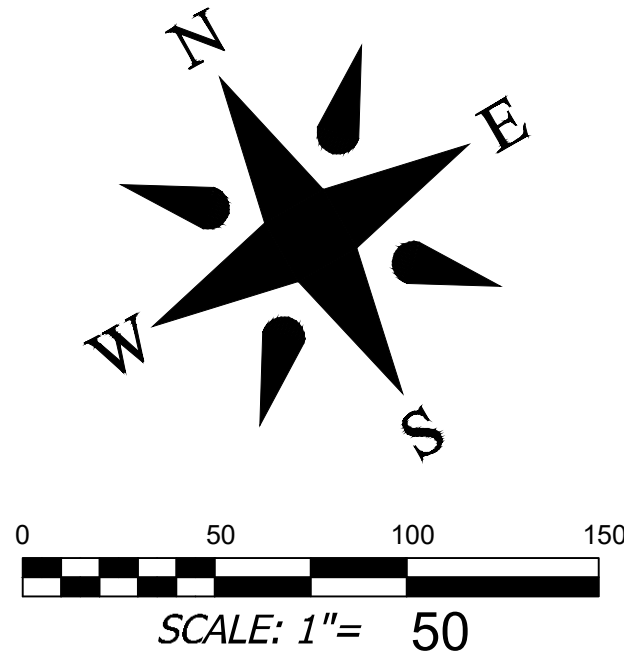
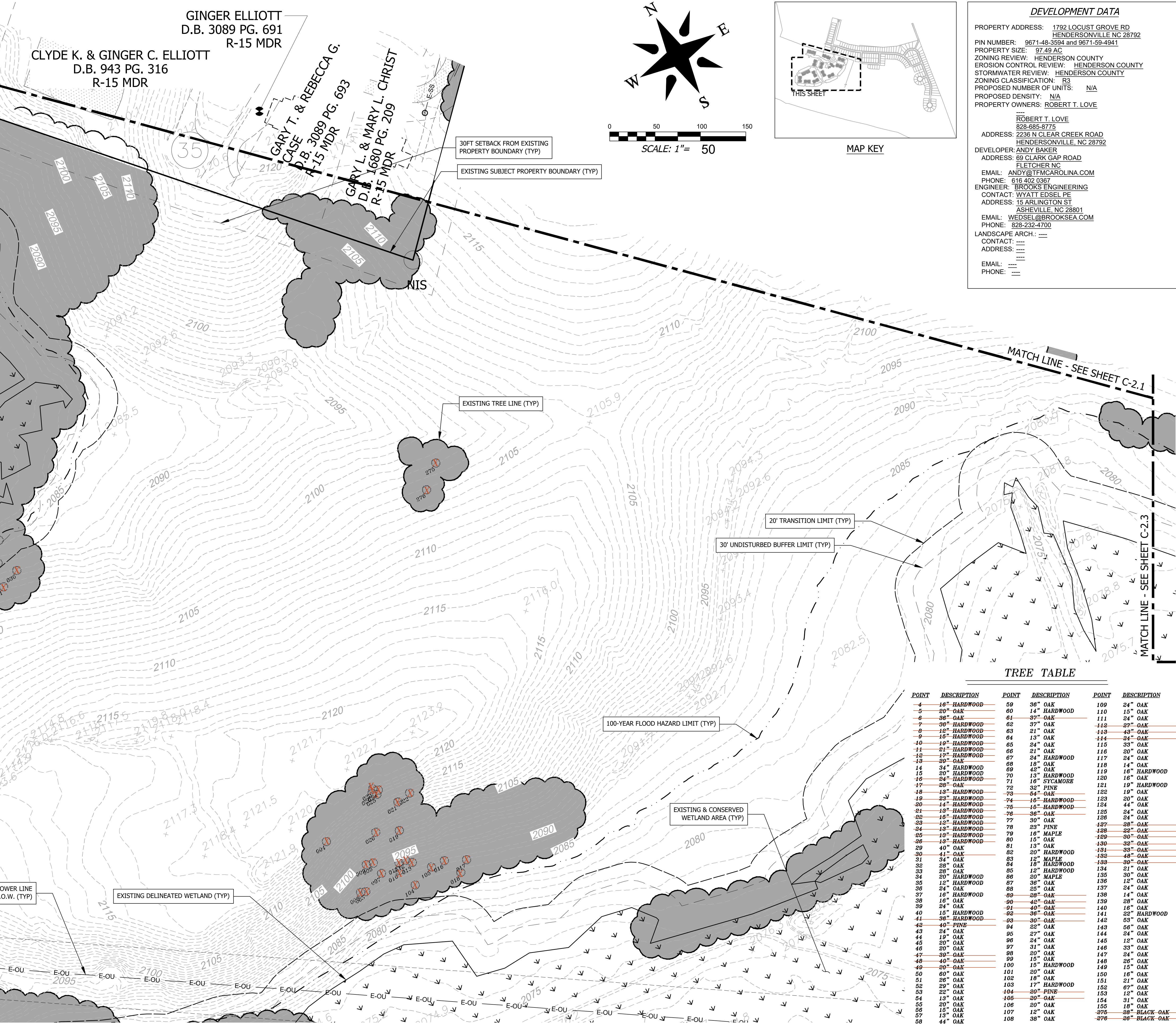
SCALE: 1" = 50'



Project No: 543521L	C-2.1	Drawing Title: EXISTING CONDITIONS & TREE SURVEY 1	LOVE STOCKPILE CONDITIONAL ZONING REVIEW HENDERSON COUNTY NORTH CAROLINA	BROOKS ENGINEERING ASSOCIATES Planning • Engineering • Surveying • Environmental Services •	Designated: E/JH	Reviewed: J/HK	Date: 10-05-2021	
					Drawn: LBC	Scale: AS NOTED	REVISIONS/SUBMISSIONS 1 WATER & SEWER ALLOCATIONS 2 C2D SUBMISSION 3 C2D RESUBMISSION 4 C2D RESUBMISSION 5 SITE PLAN REVISIONS	Date: 12-03-2021 12-17-2021 01-21-2022 03-02-22
					Checked: E/JH	Date: 03-02-2022	No.	Date
					15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com	SEAL 035686 ENGINEER NORTH CAROLINA WYATT EDSSEL	PRELIMINARY - NOT FOR CONSTRUCTION	Revision/Submission number with a change indicates changes made on this sheet.
					PROJECT: 543521L PROJECT: 543521L PROJECT: 543521L PROJECT: 543521L PROJECT: 543521L			

EXIST. CONDITIONS LEGEND

- EXIST. BOUNDARY
- - - EXIST. ADJOINER
- ⊠ MONUMENT FOUND
- ⊙ REBAR FOUND
- ⊙ IRON PIPE FOUND
- ⊙ NAIL FOUND
- ⊙ CORNER TREE FOUND
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXIST. CURB
- ⊙ EXIST. MANHOLE
- E-SS EXIST. SANITARY SEWER
- E-W EXIST. WATER LINE
- EXIST. WATER METER
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- E-OU EXIST. OVERHEAD UTILITIES
- EXIST. POWER POLE
- E-U EXIST. UNDRGRND UTILITIES
- E-ST EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- ⊙ EXIST. TREE



DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
HENDERSONVILLE NC 28792

PROPERTY SIZE: 97.49 AC

PIN NUMBER: 9671-48-3594 and 9671-59-4941

ZONING REVIEW: HENDERSON COUNTY

EROSION CONTROL REVIEW: HENDERSON COUNTY

STORMWATER REVIEW: HENDERSON COUNTY

ZONING CLASSIFICATION: R3

PROPOSED NUMBER OF UNITS: N/A

PROPOSED DENSITY: N/A

PROPERTY OWNERS: ROBERT T. LOVE

ROBERT T. LOVE
828-685-8775
ADDRESS: 2236 N CLEAR CREEK ROAD
HENDERSONVILLE, NC 28792

DEVELOPER: ANDY BAKER
ADDRESS: 69 CLARK GAP ROAD
FLETCHER NC

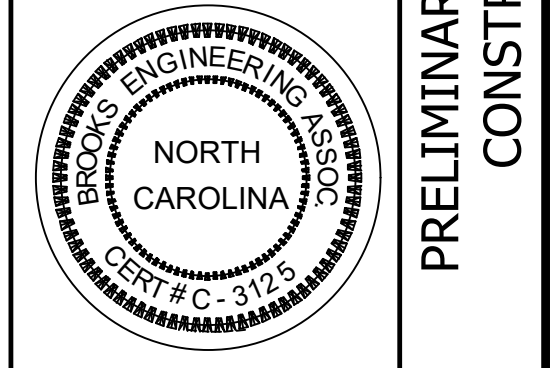
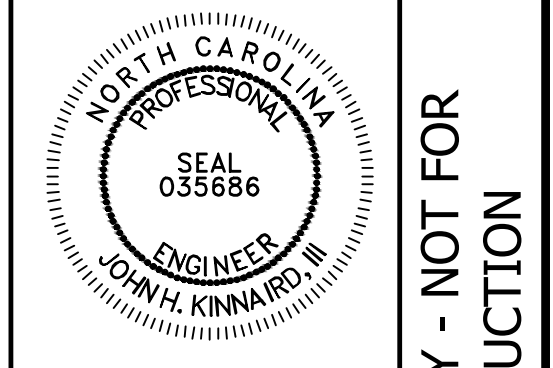
EMAIL: ANDY@TFM-CAROLINA.COM
PHONE: 818 402 0367

ENGINEER: BROOKS ENGINEERING
CONTACT: WYATT EDEL PE
ADDRESS: 15 ARLINGTON ST
ASHEVILLE, NC 28801

EMAIL: WEDSEL@BROOKSEA.COM
PHONE: 828-232-4700

LANDSCAPE ARCH: ---
CONTACT: ---
ADDRESS: ---
EMAIL: ---
PHONE: ---

Date	REVISIONS/SUBMISSIONS
10-05-2021	WATER & SEWER ALLOCATIONS
12-03-2021	CZD SUBMISSION
12-17-2021	CZD RESUBMISSION
01-21-2022	CZD RESUBMISSION
03-02-22	SITE PLAN REVISIONS



15 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksea.com

BROOKS ENGINEERING ASSOCIATES

Planning • Engineering • Surveying • Environmental Services •

Project No: 543521L

C-2.2

LOVE STOCKPILE

CONDITIONAL ZONING REVIEW

EXISTING CONDITIONS & TREE SURVEY 2

HENDERSON COUNTY

NORTH CAROLINA

TREE TABLE

POINT	DESCRIPTION	POINT	DESCRIPTION	POINT	DESCRIPTION
4	16" HARDWOOD	59	36" OAK	109	24" OAK
5	20" OAK	60	14" HARDWOOD	110	15" OAK
6	36" OAK	61	37" OAK	111	24" OAK
7	30" HARDWOOD	62	37" OAK	112	27" OAK
8	12" HARDWOOD	63	21" OAK	113	42" OAK
9	15" HARDWOOD	64	13" OAK	114	24" OAK
10	19" HARDWOOD	65	24" OAK	115	33" OAK
11	23" HARDWOOD	66	21" OAK	116	20" OAK
12	19" HARDWOOD	67	24" HARDWOOD	117	24" OAK
13	30" OAK	68	18" OAK	118	14" OAK
14	34" HARDWOOD	69	42" OAK	119	16" HARDWOOD
15	20" HARDWOOD	70	13" HARDWOOD	120	18" OAK
16	24" HARDWOOD	71	16" SYCAMORE	121	19" HARDWOOD
17	20" OAK	72	32" PINE	122	18" OAK
18	19" HARDWOOD	73	64" OAK	123	20" OAK
19	23" HARDWOOD	74	16" HARDWOOD	124	44" OAK
20	14" HARDWOOD	75	16" HARDWOOD	125	24" OAK
21	19" HARDWOOD	76	36" OAK	126	24" OAK
22	16" HARDWOOD	77	30" OAK	127	28" OAK
23	12" HARDWOOD	78	23" PINE	128	22" OAK
24	19" HARDWOOD	79	16" MAPLE	129	30" OAK
25	19" HARDWOOD	80	15" OAK	130	32" OAK
26	19" HARDWOOD	81	13" OAK	131	33" OAK
29	40" OAK	82	20" HARDWOOD	132	48" OAK
30	41" OAK	83	12" MAPLE	133	30" OAK
31	34" OAK	84	18" HARDWOOD	134	21" OAK
32	28" OAK	85	12" HARDWOOD	135	30" OAK
33	20" OAK	86	30" MAPLE	136	12" OAK
34	30" HARDWOOD	87	36" OAK	137	24" OAK
35	12" HARDWOOD	88	25" OAK	138	18" OAK
36	24" OAK	89	28" OAK	139	28" OAK
37	16" HARDWOOD	90	42" OAK	140	16" OAK
38	16" OAK	91	40" OAK	141	22" HARDWOOD
39	24" OAK	92	36" OAK	142	30" OAK
40	19" HARDWOOD	93	26" OAK	143	56" OAK
41	36" HARDWOOD	94	22" OAK	144	24" OAK
42	40" PINE	95	27" OAK	145	12" OAK
43	24" OAK	96	24" OAK	146	33" OAK
44	19" OAK	97	31" OAK	147	24" OAK
45	20" OAK	98	30" OAK	148	26" OAK
46	20" OAK	99	15" OAK	149	15" OAK
47	39" OAK	100	15" HARDWOOD	150	16" OAK
48	40" OAK	101	20" OAK	151	21" OAK
49	20" OAK	102	18" OAK	152	67" OAK
50	60" OAK	103	17" HARDWOOD	153	12" OAK
51	20" OAK	104	20" PINE	154	31" OAK
52	29" OAK	105	20" OAK	155	18" OAK
53	22" OAK	106	20" OAK	156	18" OAK
54	13" OAK	107	12" OAK	157	28" BLACK-OAK
55	15" OAK	108	20" OAK	158	28" BLACK-OAK
56	15" OAK				
57	15" OAK				
58	44" OAK				

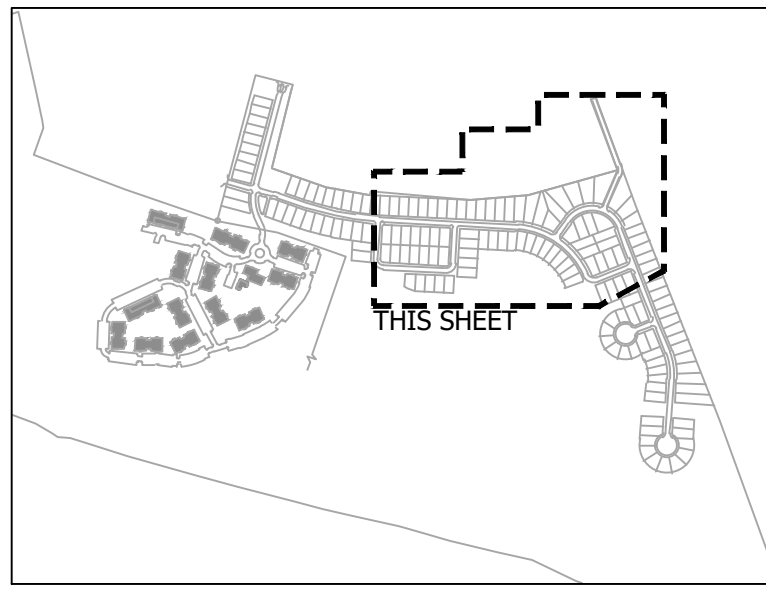
EXIST. CONDITIONS LEGEND

- EXIST. BOUNDARY
- - - EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CORNER TREE FOUND
- - - EXIST. STREAM
- - - EXIST. STREAM BUFFER
- - - EXIST. WETLAND
- - - EXIST. FEMA NON-ENCROACHMENT
- - - EXIST. FEMA FLOOD HAZARD AREA (1%)
- - - EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- - - EXIST. RIGHT OF WAY
- - - EXIST. EASEMENT
- - - EXIST. BUILDING SETBACK
- - - EXISTING BUILDING
- - - EXISTING SIDEWALK
- - - EXISTING PAVEMENT
- - - EXISTING GRAVEL
- - - EXIST. CURB
- EXIST. MANHOLE
- - - EXIST. SANITARY SEWER
- - - EXIST. WATER LINE
- - - EXIST. WATER METER
- HYD ○ EXIST. FIRE HYDRANT
- - - EXIST. WATER VALVE
- - - EXIST. OVERHEAD UTILITIES
- - - EXIST. POWER POLE
- - - EXIST. UNDRGRND UTILITIES
- - - EXIST. STORM DRAIN
- - - EXIST. CURB INLET
- - - EXIST. MINOR CONTOUR
- - - EXIST. MAJOR CONTOUR
- EXIST. TREE

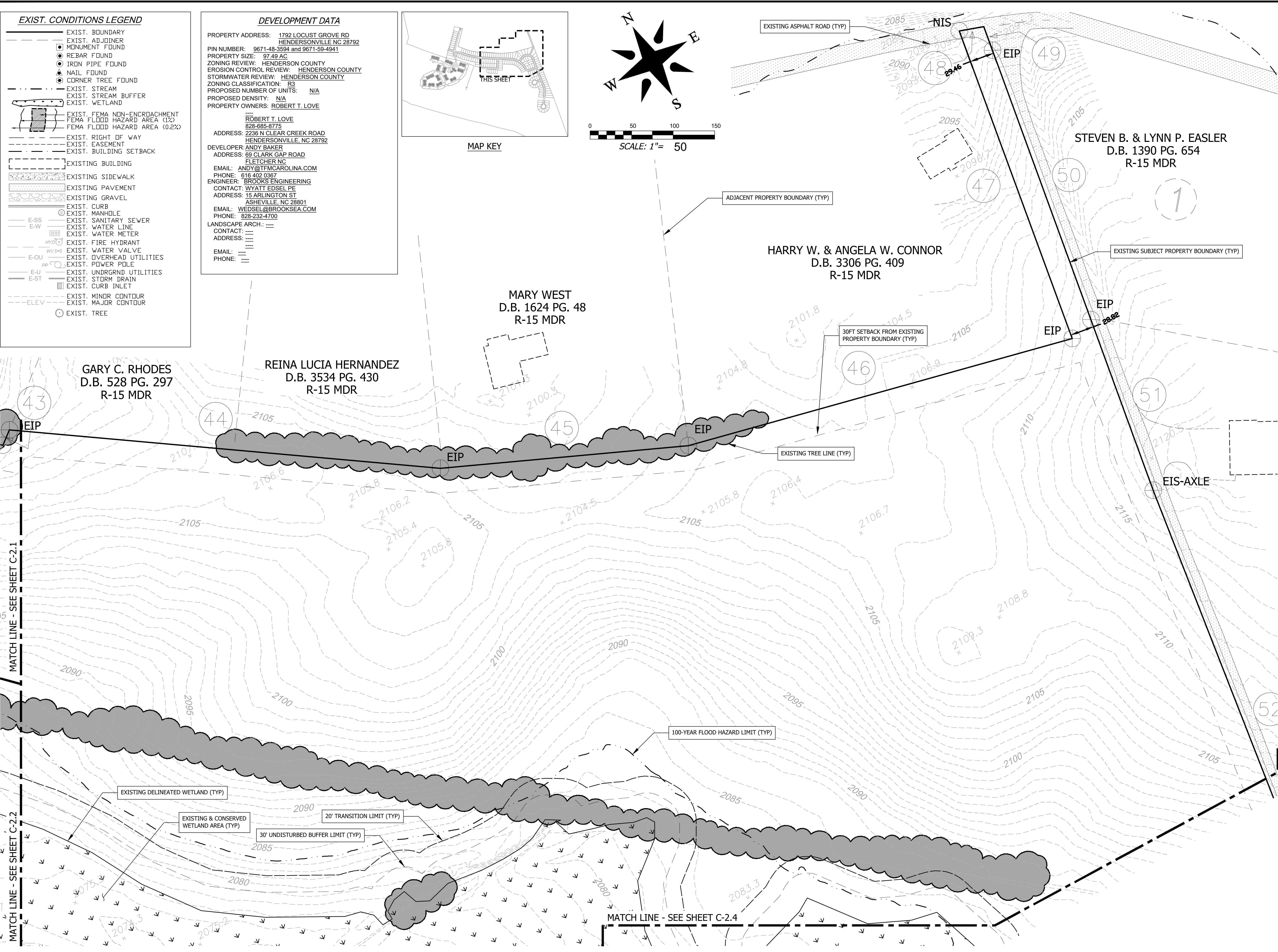
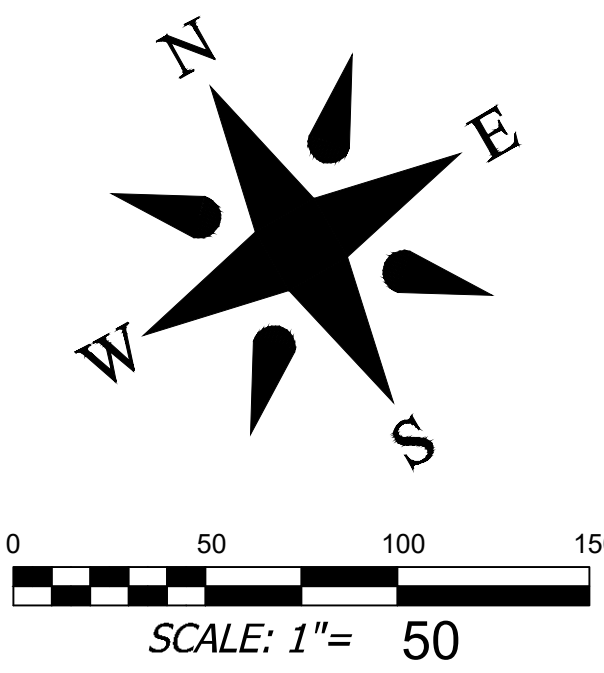
DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.49 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE

ROBERT T. LOVE
 828-685-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER NC
 EMAIL: ANDY@TFM-CAROLINA.COM
 PHONE: 816 402 0387
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDEL PE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDEL@BROOKSEA.COM
 PHONE: 828-232-4700
 LANDSCAPE ARCH: ---
 CONTACT: ---
 ADDRESS: ---
 EMAIL: ---
 PHONE: ---



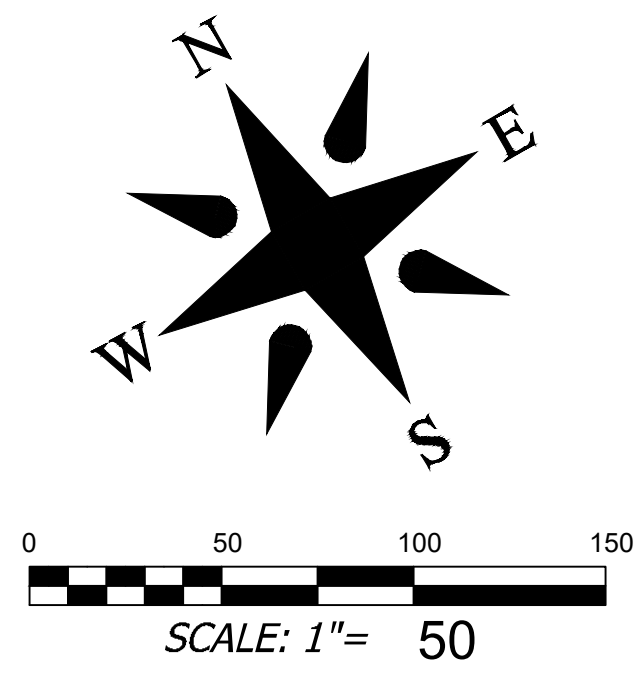
MAP KEY



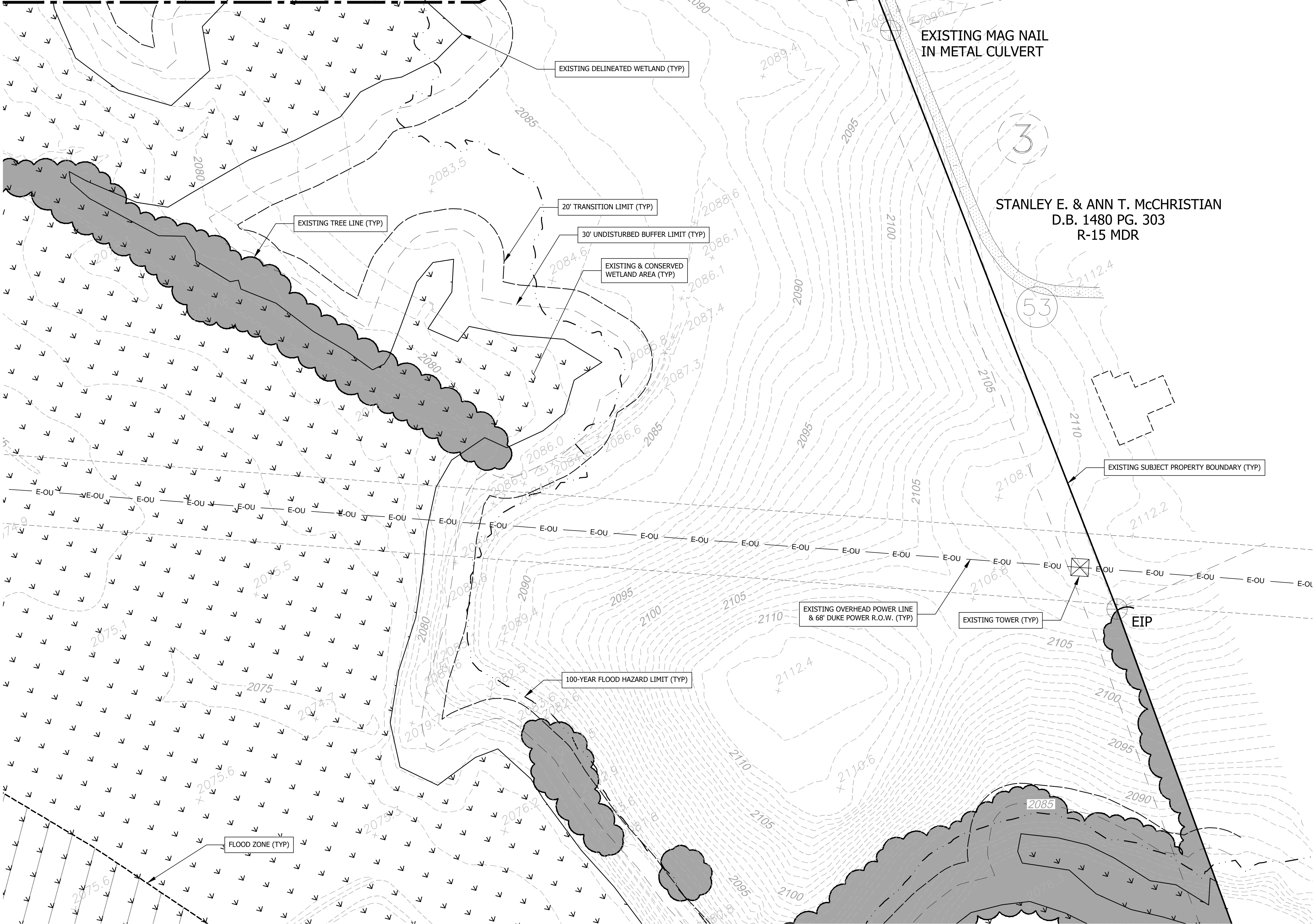
Project No: 543521L	Drawing Title: C-2.3	LOVE STOCKPILE CONDITIONAL ZONING REVIEW HENDERSON COUNTY NORTH CAROLINA	Date 10-05-2021 12-03-2021 12-17-2021 01-21-2022 03-02-22	REVISIONS/SUBMISSIONS 1 WATER & SEWER ALLOCATIONS 2 C2D SUBMISSION 3 C2D RESUBMISSION 4 C2D RESUBMISSION 5 SITE PLAN REVISIONS	
			PRELIMINARY - NOT FOR CONSTRUCTION		
			Reviewer: JHK Scale: AS NOTED Date: 03-02-2022	15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com	
		Planning • Engineering • Surveying • Environmental Services •			
File Location: L:\2021 Projects\538921 Washburn, Hendersonville DO & Plan\DWG\Civil\Bases\538921.dwg					

EXIST. CONDITIONS LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CORNER TREE FOUND
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- FEMA FLOOD HAZARD AREA (1%)
- FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXIST. CURB
- EXIST. MANHOLE
- EXIST. SANITARY SEWER
- EXIST. WATER LINE
- EXIST. WATER METER
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- EXIST. OVERHEAD UTILITIES
- EXIST. POWER POLE
- EXIST. UNDRGRND UTILITIES
- EXIST. STORM DRAIN
- EXIST. CURB INLET
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- EXIST. TREE



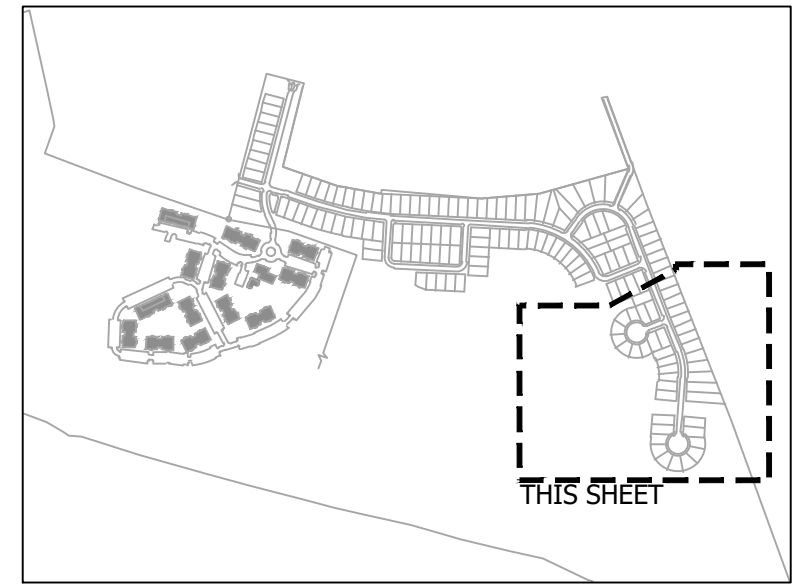
MATCH LINE - SEE SHEET C-2.3



STANLEY E. & ANN T. McCHRISTIAN
D.B. 1480 PG. 303
R-15 MDR

53

3



MAP KEY

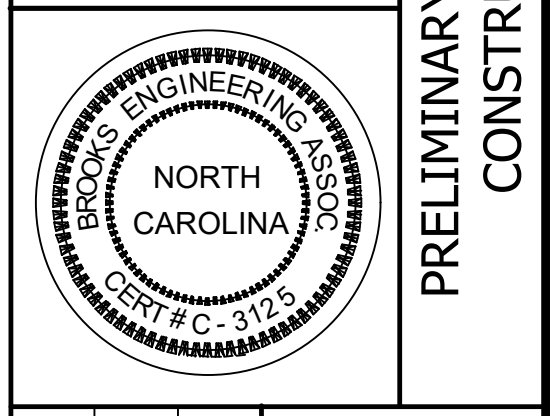
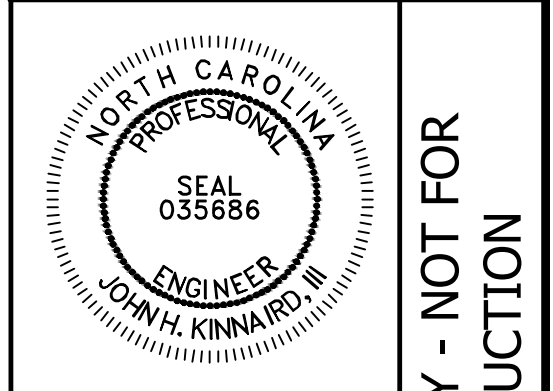
DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
HENDERSONVILLE NC 28792
PIN NUMBER: 9671-48-3594 and 9671-59-4941
PROPERTY SIZE: 97.49 AC
ZONING REVIEW: HENDERSON COUNTY
EROSION CONTROL REVIEW: HENDERSON COUNTY
STORMWATER REVIEW: HENDERSON COUNTY
ZONING CLASSIFICATION: R3
PROPOSED NUMBER OF UNITS: N/A
PROPOSED DENSITY: N/A
PROPERTY OWNERS: ROBERT T. LOVE

ROBERT T. LOVE
828-685-8775
ADDRESS: 2236 N CLEAR CREEK ROAD
HENDERSONVILLE, NC 28792
DEVELOPER: ANDY BAKER
ADDRESS: 69 CLARK GAP ROAD
FLETCHER NC
EMAIL: ANDY@TFMNCAROLINA.COM
PHONE: 616 402 0367
ENGINEER: BROOKS ENGINEERING
CONTACT: WYATT EDSSEL PE
ADDRESS: 15 ARLINGTON ST
ASHEVILLE, NC 28801
EMAIL: WEDSEL@BROOKSEA.COM
PHONE: 828-232-4700
LANDSCAPE ARCH: ---
CONTACT: ---
ADDRESS: ---

EMAIL: ---
PHONE: ---

No.	REVISIONS/SUBMISSIONS	Date
1	WATER & SEWER ALLOCATIONS	10-05-2021
2	CZD SUBMISSION	12-03-2021
3	CZD RESUBMISSION	12-17-2021
4	CZD RESUBMISSION	01-21-2022
5	SITE PLAN REVISIONS	03-02-22



Reviewed: JHK
Scale: AS NOTED
Date: 03-02-2022
Designed: E-JH
Drawn: LBC
Checked: E-JH
15 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksea.com

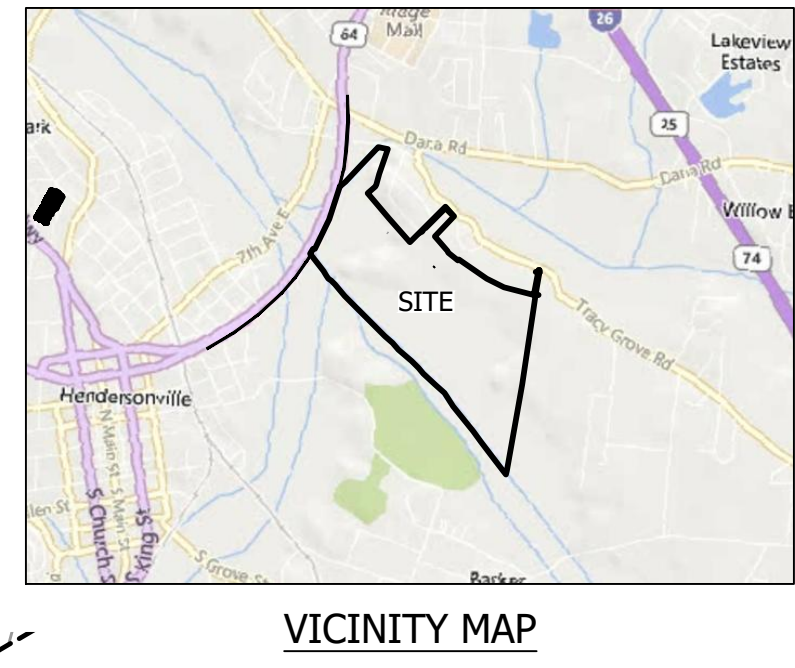
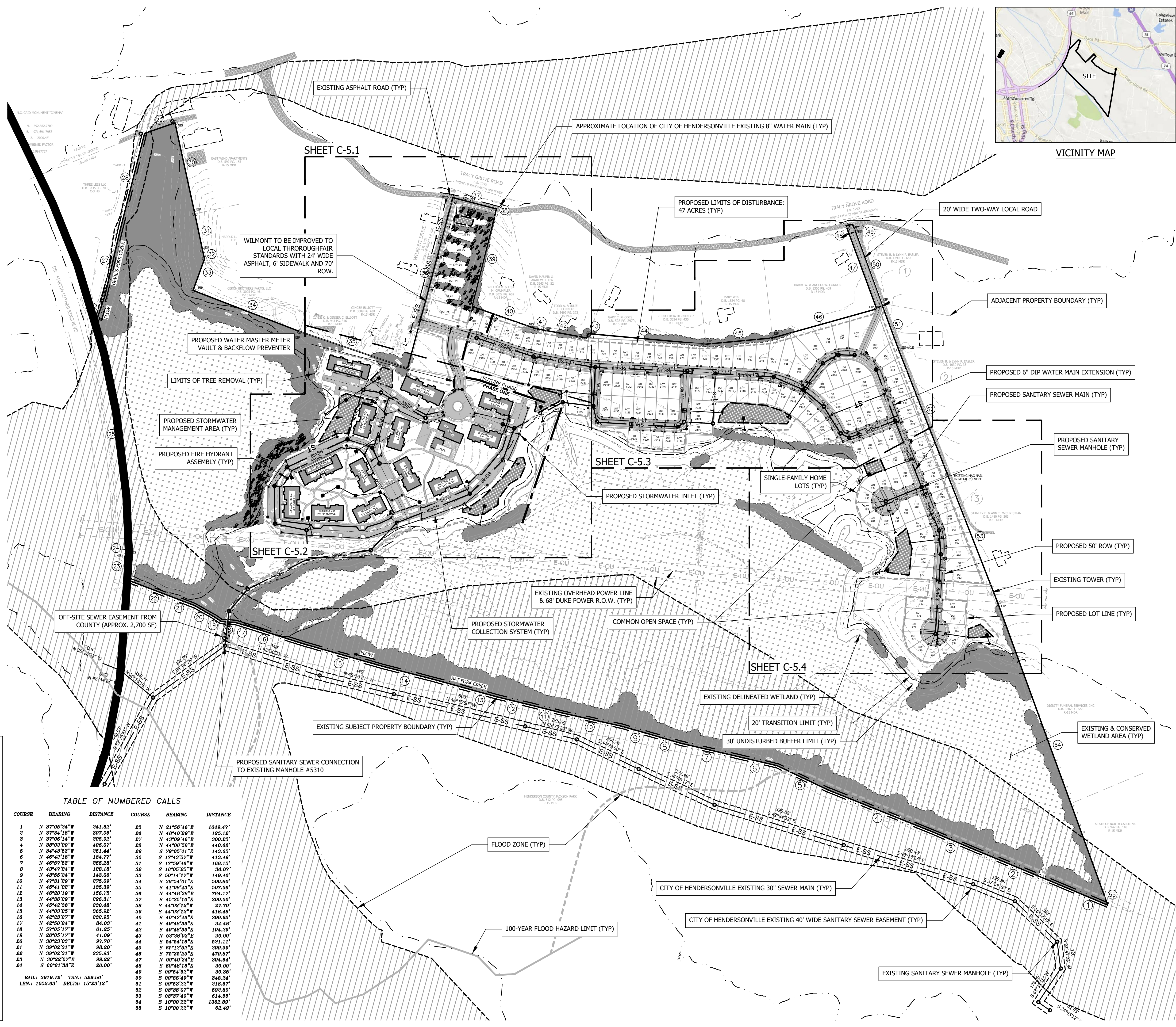
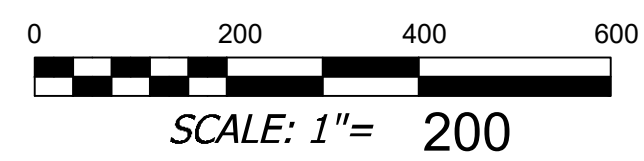
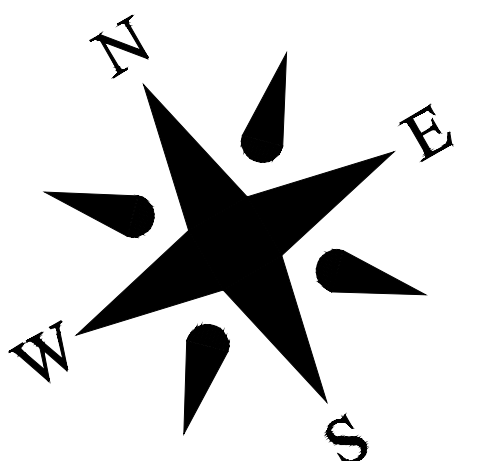
BROOKS
ENGINEERING ASSOCIATES
Planning • Engineering • Surveying
• Environmental Services •

Project No: 543521L	LOVE STOCKPILE	NORTH CAROLINA
C-2.4	CONDITIONAL ZONING REVIEW	HENDERSON COUNTY
Drawing Title: EXISTING CONDITIONS & TREE SURVEY 4		

File Location: L:\2021 Projects\538921 Washburn_Hendersonville DO & Plan\Draw\04H-Bases\538921.dwg

STORMWATER & UTILITIES LEGEND

- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BOX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLDW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CD / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)
- EXIST. TREE TO REMAIN



VICINITY MAP

DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.43 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE

 ROBERT T. LOVE
 828-685-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER NC
 EMAIL: ANDY@TFMNCAROLINA.COM
 PHONE: 616 402 0367
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDELPE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDEL@BROOKSEA.COM
 PHONE: 828-232-4700
 LANDSCAPE ARCH: ---
 CONTACT: ---
 ADDRESS: ---

 EMAIL: ---
 PHONE: ---

TABLE OF NUMBERED CALLS

COURSE	BEARING	DISTANCE	COURSE	BEARING	DISTANCE
1	N 37°05'24"W	241.82'	25	N 21°56'46"E	1049.47'
2	N 37°34'18"W	397.06'	26	N 48°40'29"E	125.12'
3	N 37°06'14"W	205.92'	27	N 43°09'46"E	300.25'
4	N 39°02'09"W	496.07'	28	N 44°06'58"E	440.88'
5	N 34°43'53"W	251.44'	29	N 07°05'47"E	143.05'
6	N 46°42'18"W	184.77'	30	S 17°43'57"W	413.49'
7	N 46°57'53"W	255.28'	31	S 17°59'46"W	186.15'
8	N 49°47'24"W	128.18'	32	S 10°05'23"W	38.07'
9	N 43°55'24"W	143.06'	33	S 60°14'17"W	146.40'
10	N 47°31'29"W	275.00'	34	S 30°54'01"E	506.80'
11	N 45°41'02"W	135.39'	35	S 41°08'43"E	507.06'
12	N 46°00'17"W	156.70'	36	N 44°48'38"E	784.17'
13	N 44°38'28"W	296.31'	37	S 45°25'10"E	200.00'
14	N 45°42'38"W	230.48'	38	S 44°02'12"E	27.70'
15	N 44°03'25"W	365.39'	39	S 44°02'12"E	416.46'
16	N 42°23'27"W	232.95'	40	S 40°43'49"E	599.95'
17	N 42°50'24"W	84.03'	41	S 40°48'39"E	34.48'
18	N 57°05'17"W	61.25'	42	S 40°48'39"E	194.39'
19	N 29°00'17"W	41.09'	43	N 52°28'00"E	20.00'
20	N 30°23'03"W	97.78'	44	S 54°54'16"E	621.11'
21	N 39°02'31"W	98.20'	45	S 60°12'52"E	299.59'
22	N 39°02'31"W	235.93'	46	S 70°55'25"E	479.89'
23	N 30°22'07"E	98.23'	47	N 09°49'34"E	394.64'
24	S 60°21'38"E	20.00'	48	S 69°48'18"E	30.00'
			49	S 09°54'52"W	30.35'
			50	S 09°53'49"W	345.24'
			51	S 09°53'22"E	218.67'
			52	S 08°38'07"W	592.89'
			53	S 08°07'49"W	614.55'
			54	S 10°00'25"W	1365.99'
			55	S 10°00'22"W	62.49'

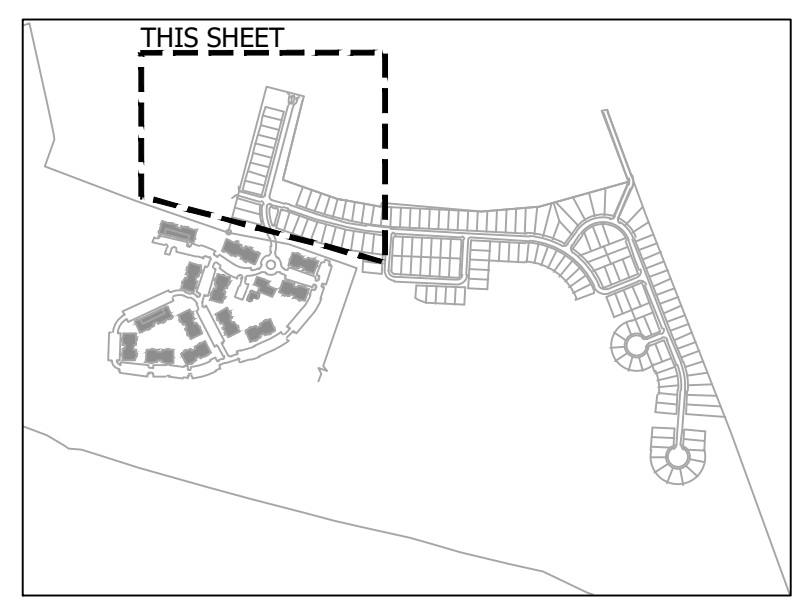
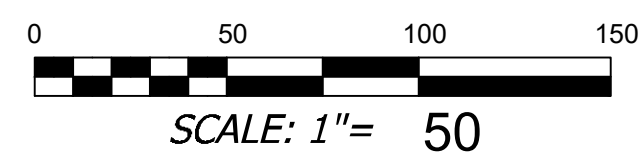
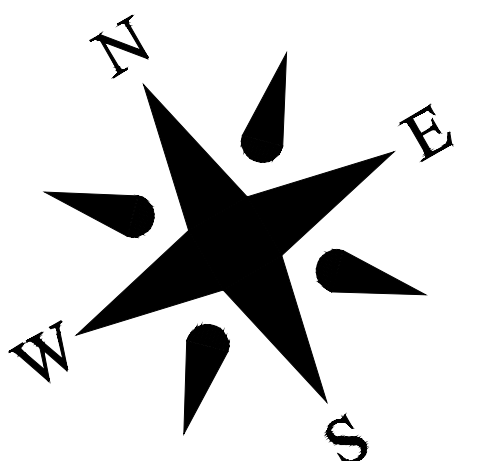
RAD.: 3919.72" TAN.: 629.50"
 LEN.: 1052.63" DELTA: 15°23'12"

No. 1 2 3 4 5	REVISIONS/SUBMISSIONS	Date	10-05-2021	PRELIMINARY - NOT FOR CONSTRUCTION
	WATER & SEWER ALLOCATIONS	12-03-2021		
	CZD SUBMISSION	12-17-2021		
	CZD RESUBMISSION	01-21-2022		
	SITE PLAN REVISIONS	03-02-22		
Designated:	EJH	Reviewed:	JHK	15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com
Drawn:	LBC	Scale:	AS NOTED	
Checked:	EJH	Date:	03-02-2022	
BROOKS ENGINEERING ASSOCIATES ENGINEERING SERVICES Planning • Engineering • Surveying • Environmental Services •				
Project No:	543521L	ZONING REVIEW	CONDITIONAL ZONING REVIEW	LOVE STOCKPILE HENDERSON COUNTY NORTH CAROLINA
		Drawing Title:	OVERALL STORMWATER & UTILITY PLAN	C-5.0 HENDERSON COUNTY

Revision/Submission number with a triangle indicates changes made on this sheet. File Location: L:\2021 Projects\538921 Washburn_Hendersonville DO & Plan\DWG\Civil\Bases\538921.dwg

STORMWATER & UTILITIES LEGEND

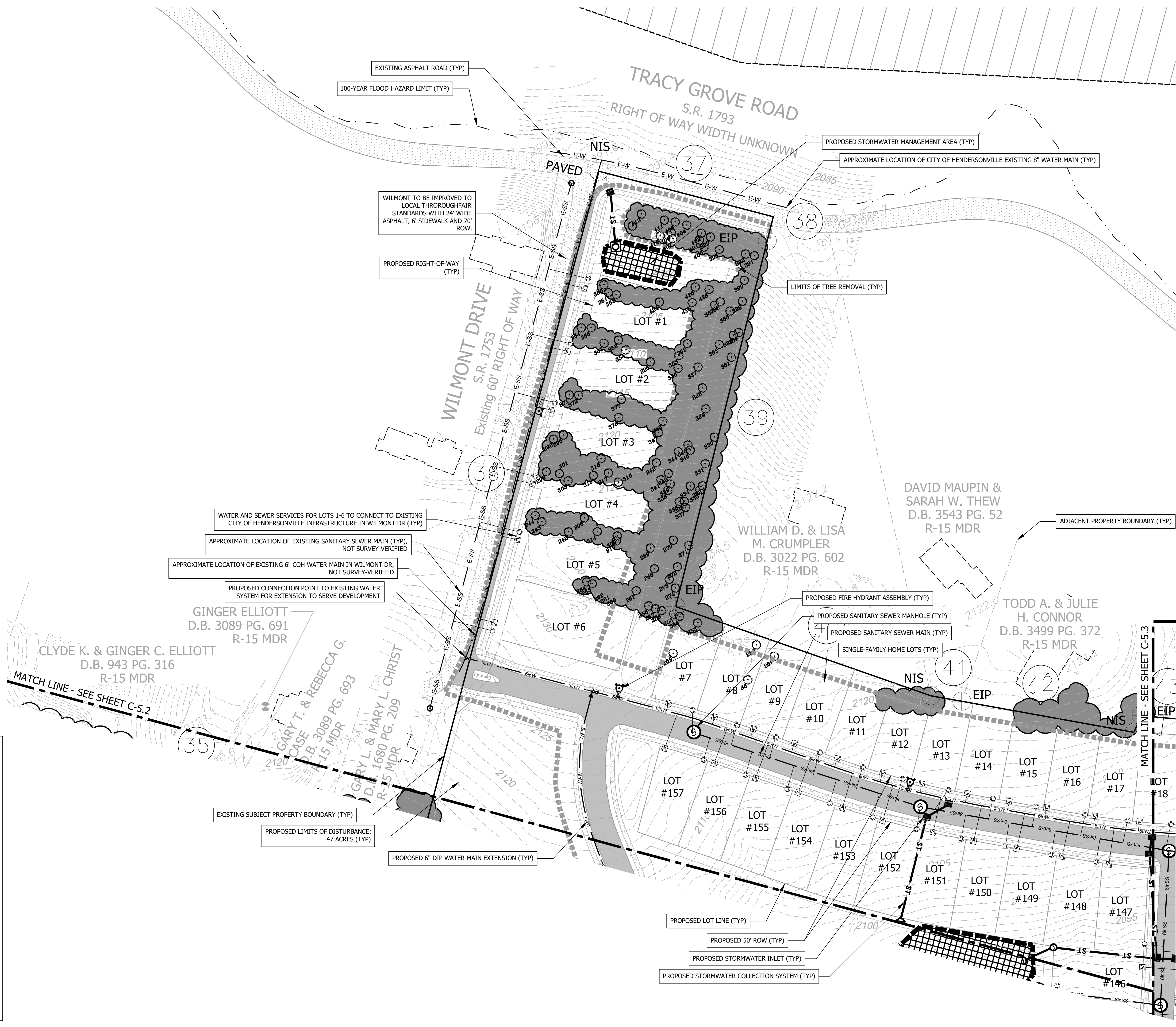
- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BDX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLDW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CD / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)
- EXIST. TREE TO REMAIN



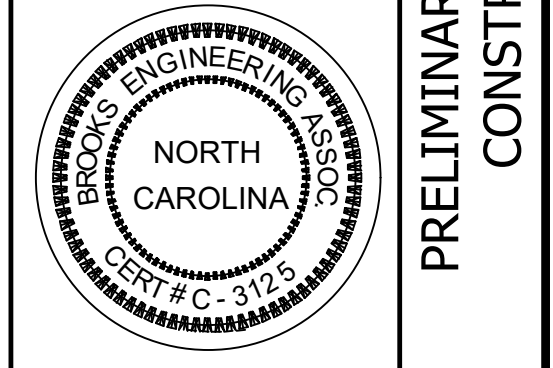
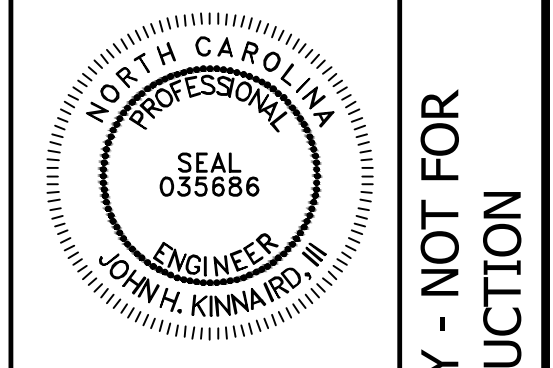
MAP KEY

DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE, NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.49 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE
 ROBERT T. LOVE
 828-685-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER, NC
 EMAIL: ANDY@TFMCAROLINA.COM
 PHONE: 616 402 0367
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDESEL PE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDSEL@BROOKSEA.COM
 PHONE: 828-232-4700
 LANDSCAPE ARCH.:
 CONTACT:
 ADDRESS:
 EMAIL:
 PHONE:



No.	REVISIONS/SUBMISSIONS	Date
1	WATER & SEWER ALLOCATIONS	10-05-2021
2	CZD SUBMISSION	12-03-2021
3	CZD RESUBMISSION	12-17-2021
4	CZD RESUBMISSION	01-21-2022
5	SITE PLAN REVISIONS	03-02-22



Reviewed: JHK
 Scale: AS NOTED
 Design: E/JH
 Drawn: LBC
 Checked: E/JH
 Date: 03-02-2022
 15 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brooksea.com

BROOKS ENGINEERING ASSOCIATES
 Planning • Engineering • Surveying
 • Environmental Services •

Project No: 543521L
 Drawing Title: STORMWATER & UTILITY PLAN 1
 LOVE STOCKPILE
 CONDITIONAL ZONING REVIEW
 HENDERSON COUNTY
 NORTH CAROLINA

Revision/Submission number with a change indicates changes made on this sheet.
 File Location: L:\2021 Projects\538921 Washburn, Hendersonville DO & Plan\DWG\Civil\Bases\538921.dwg

STORMWATER & UTILITIES LEGEND

- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BDX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLDW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CD / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)
- EXIST. TREE TO REMAIN

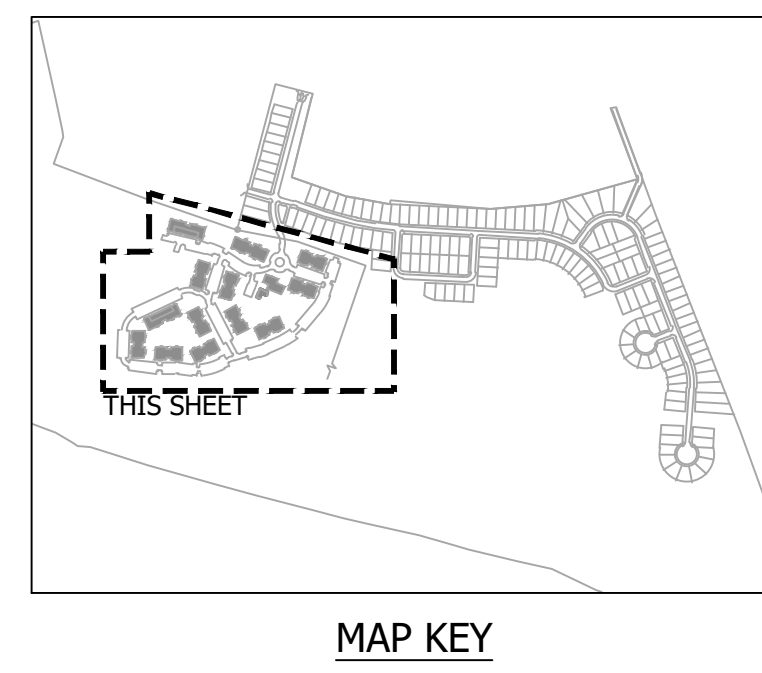
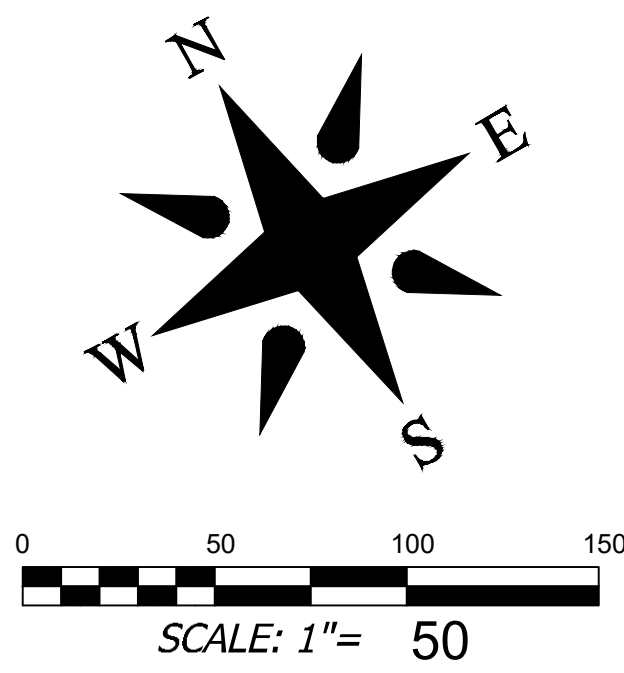
NOTE: BUILDINGS REQUIRING STANDPIPES WILL REQUIRE A HYDRANT LOCATED WITHIN 100FT OF THE FDC FOR THE STANDPIPE.

GINGER ELLIOTT
D.B. 3089 PG. 691
R-15 MDR

CLYDE K. & GINGER C. ELLIOTT
D.B. 943 PG. 316
R-15 MDR

GARY T. & REBECCA G. CASE
D.B. 3089 PG. 693
R-15 MDR

GARY L. & MARY L. CHRIST
D.B. 1680 PG. 209
R-15 MDR



DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
HENDERSONVILLE NC 28792

PIN NUMBER: 9671-48-3594 and 9671-59-4941

PROPERTY SIZE: 97.49 AC

ZONING REVIEW: HENDERSON COUNTY

EROSION CONTROL REVIEW: HENDERSON COUNTY

STORMWATER REVIEW: HENDERSON COUNTY

ZONING CLASSIFICATION: R3

PROPOSED NUMBER OF UNITS: N/A

PROPOSED DENSITY: N/A

PROPERTY OWNERS: ROBERT T. LOVE

ROBERT T. LOVE
828-685-8775

ADDRESS: 2236 N CLEAR CREEK ROAD
HENDERSONVILLE, NC 28792

DEVELOPER: ANDY BAKER
ADDRESS: 69 CLARK GAP ROAD
FLETCHER NC

EMAIL: ANDY@TFM-CAROLINA.COM

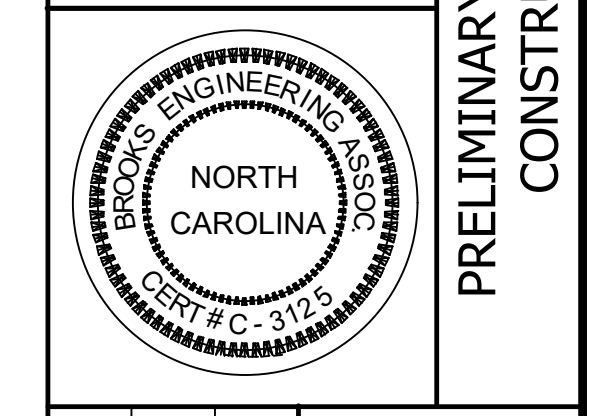
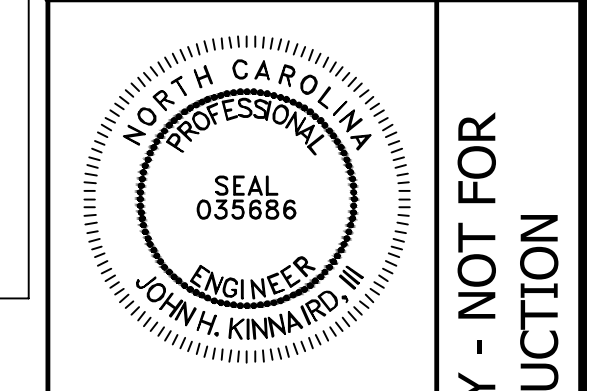
PHONE: 818 402 0367

ENGINEER: BROOKS ENGINEERING
CONTACT: WYATT EDEL PE
ADDRESS: 15 ARLINGTON ST
ASHEVILLE, NC 28801

EMAIL: WEDSEL@BROOKSEA.COM
PHONE: 828-232-4700

LANDSCAPE ARCH: ---
CONTACT: ---
ADDRESS: ---
EMAIL: ---
PHONE: ---

Date	REVISIONS/SUBMISSIONS
10-05-2021	WATER & SEWER ALLOCATIONS
12-03-2021	CZD SUBMISSION
12-17-2021	CZD RESUBMISSION
01-21-2022	CZD RESUBMISSION
03-02-22	SITE PLAN REVISIONS



Reviewed: JHK
Scale: AS NOTED
Designed: E/JH
Drawn: LBC
Checked: E/JH

15 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksea.com

BROOKS ENGINEERING ASSOCIATES

Planning • Engineering • Surveying
• Environmental Services •

Project No: 543521L

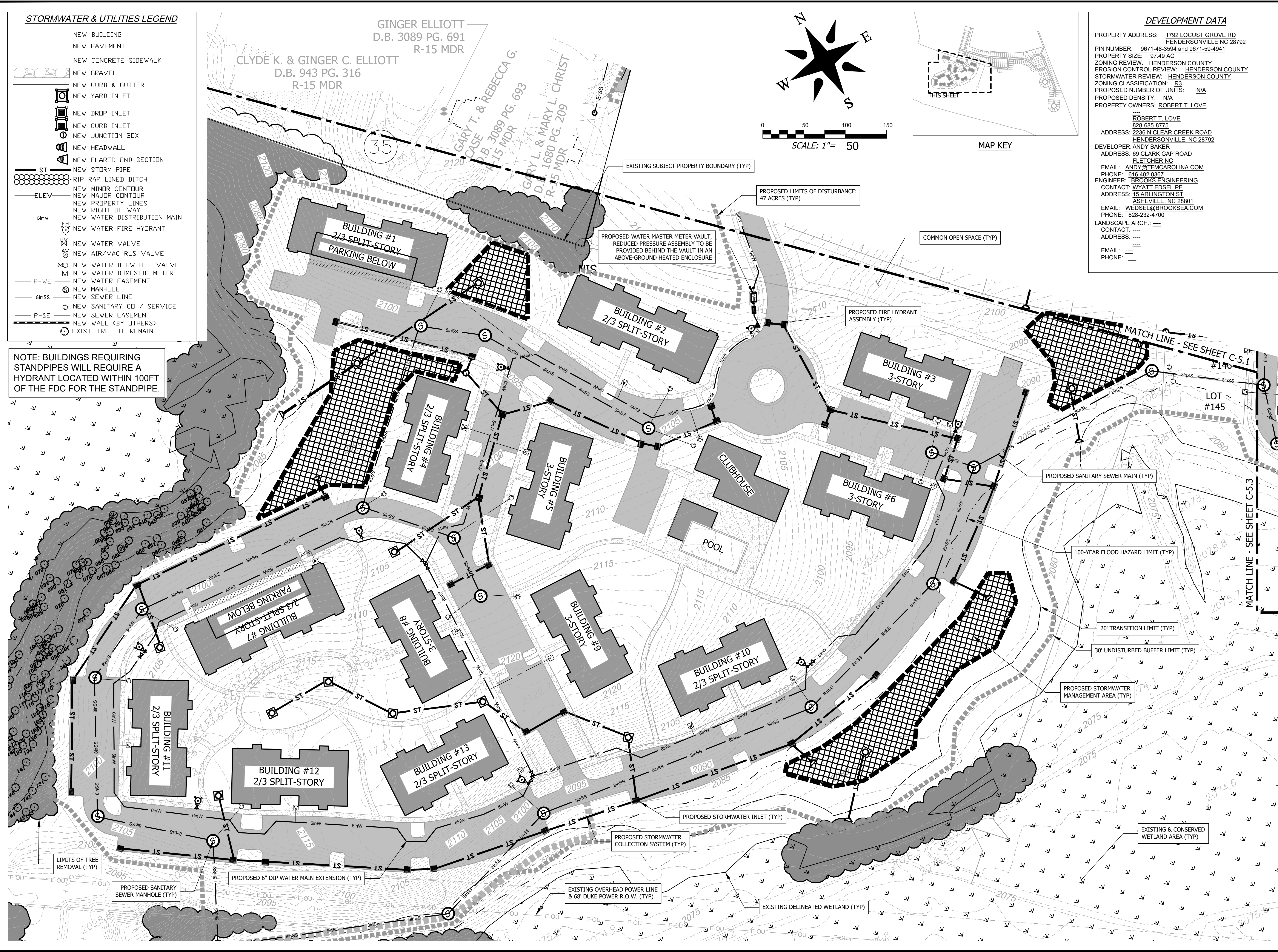
C-5.2

LOVE STOCKPILE

CONDITIONAL ZONING REVIEW

HENDERSON COUNTY

STORMWATER & UTILITY PLAN 2



File Location: L:\2021 Projects\538921 Washburn, Hendersonville DO & Plan\DWG\Civil\Bases\538921.dwg

STORMWATER & UTILITIES LEGEND

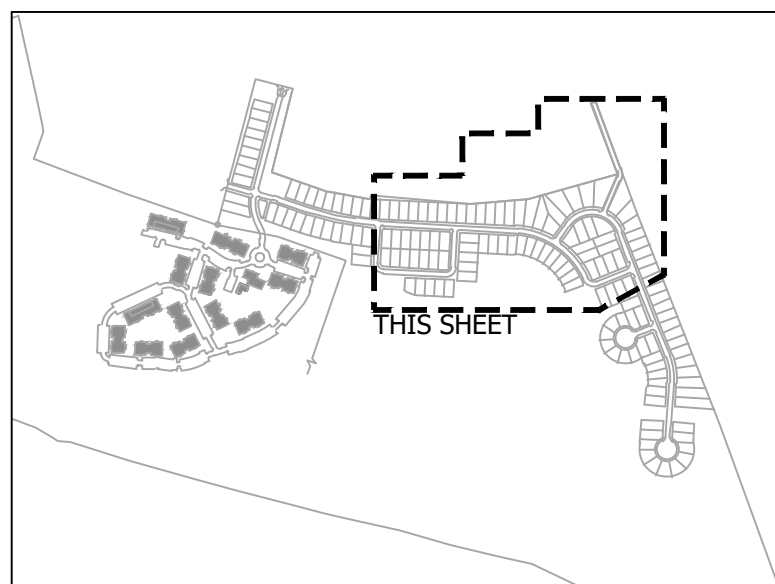
- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BDX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLDW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CD / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)
- EXIST. TREE TO REMAIN

DEVELOPMENT DATA

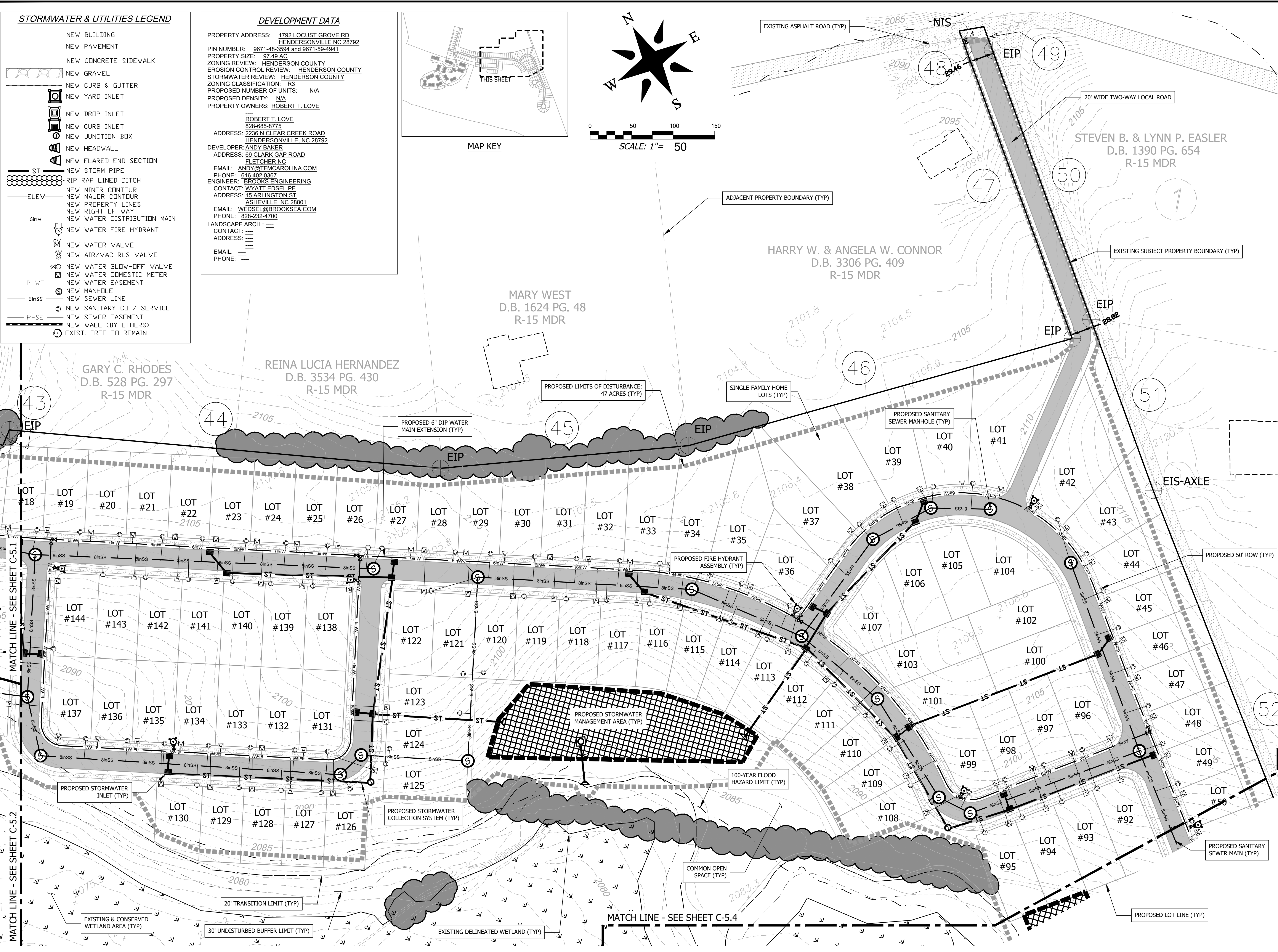
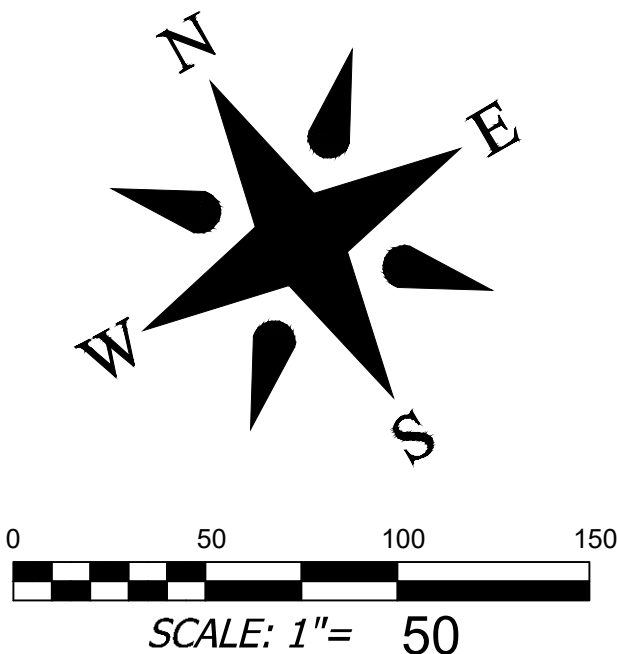
PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.49 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE

ROBERT T. LOVE
 828-685-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER NC
 EMAIL: ANDY@TFMCAROLINA.COM
 PHONE: 816 402 0387
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDELSE PE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDELSE@BROOKSEA.COM
 PHONE: 828-232-4700

LANDSCAPE ARCH: _____
 CONTACT: _____
 ADDRESS: _____
 EMAIL: _____
 PHONE: _____



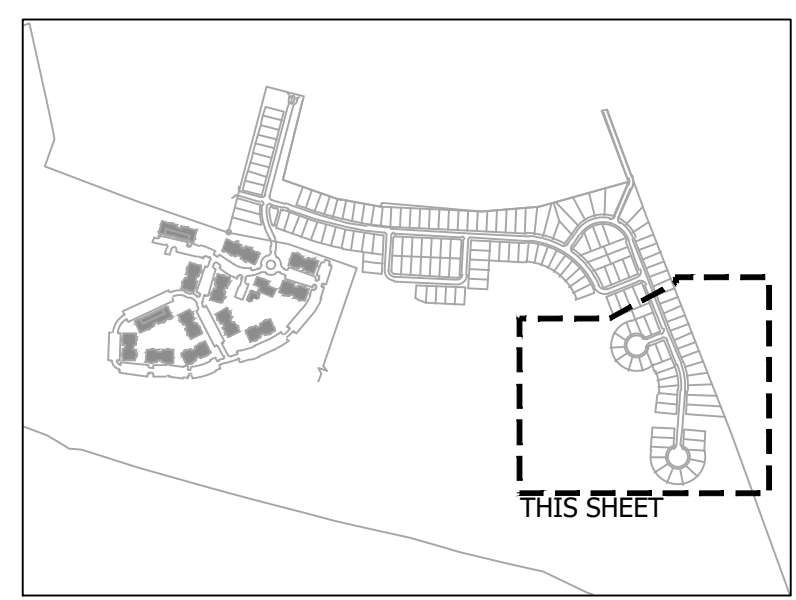
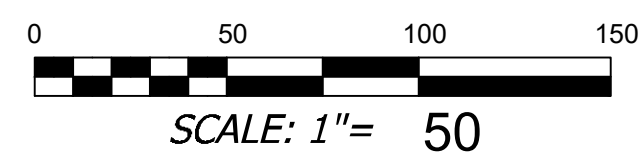
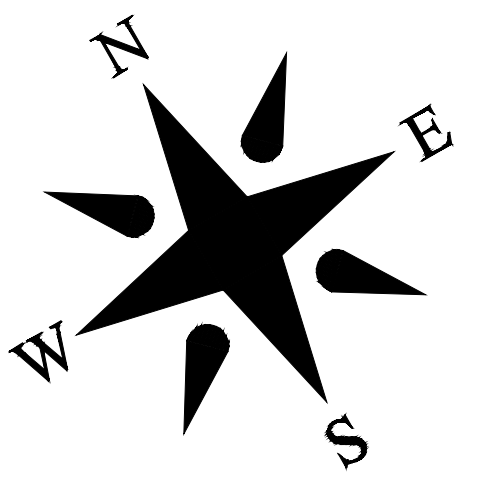
MAP KEY



Project No: 543521L	Drawing Title: STORMWATER & UTILITY PLAN 3	REVISIONS/SUBMISSIONS		Date
		1	WATER & SEWER ALLOCATIONS	10-05-2021
		2	CZD SUBMISSION	12-03-2021
		3	CZD RESUBMISSION	12-17-2021
		4	CZD RESUBMISSION	01-21-2022
		5	SITE PLAN REVISIONS	03-02-22
Project Location: L:\2021 Projects\538921 Washburn, Hendersonville DO & Plan\DWG\Civil\Bases\538921.dwg		File Location: L:\2021 Projects\538921 Washburn, Hendersonville DO & Plan\DWG\Civil\Bases\538921.dwg		
Project No: 543521L		Drawing Title: STORMWATER & UTILITY PLAN 3		
Project Name: LOVE STOCKPILE		Project Location: HENDERSON COUNTY, NORTH CAROLINA		
Project Code: C-5.3		Project Description: CONDITIONAL ZONING REVIEW		
Project Manager: ANDY BAKER		Project Engineer: WYATT EDELSE		
Project Designer: E.J.H.		Project Checker: E.J.H.		
Project Scale: AS NOTED		Project Date: 03-02-2022		
Project Address: 15 Arlington Street Asheville, N.C. 28801		Project Phone: 1-828-232-4700		
Project Fax: 1-828-232-1331		Project Website: www.brooksea.com		
Project Logo: BROOKS ENGINEERING ASSOCIATES		Project Status: PRELIMINARY - NOT FOR CONSTRUCTION		

STORMWATER & UTILITIES LEGEND

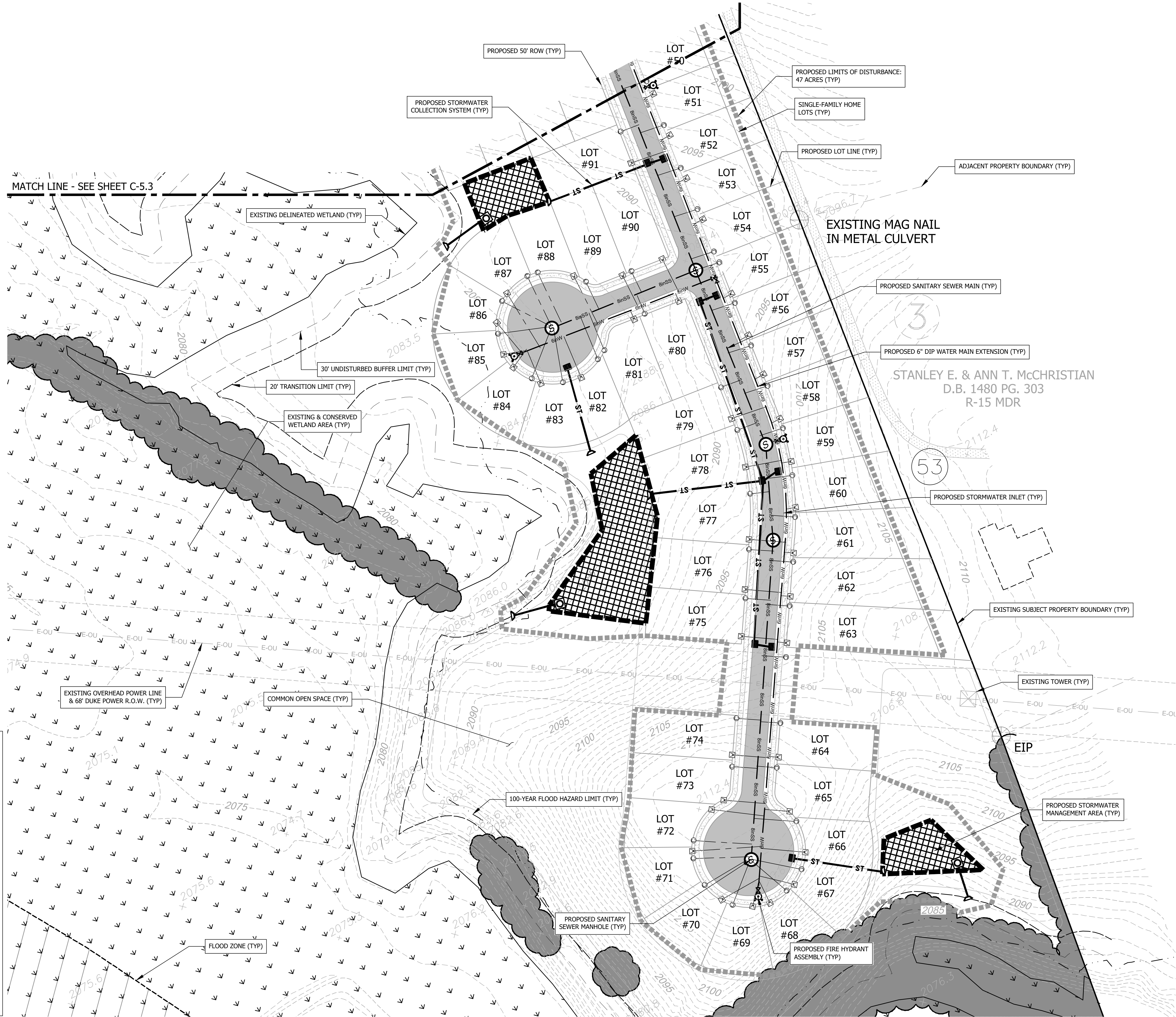
- NEW BUILDING
- NEW PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW GRAVEL
- NEW CURB & GUTTER
- NEW YARD INLET
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BDX
- NEW HEADWALL
- NEW FLARED END SECTION
- NEW STORM PIPE
- RIP RAP LINED DITCH
- NEW MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW WATER DISTRIBUTION MAIN
- NEW WATER FIRE HYDRANT
- NEW WATER VALVE
- NEW AIR/VAC RLS VALVE
- NEW WATER BLDW-OFF VALVE
- NEW WATER DOMESTIC METER
- NEW WATER EASEMENT
- NEW MANHOLE
- NEW SEWER LINE
- NEW SANITARY CD / SERVICE
- NEW SEWER EASEMENT
- NEW WALL (BY OTHERS)
- EXIST. TREE TO REMAIN



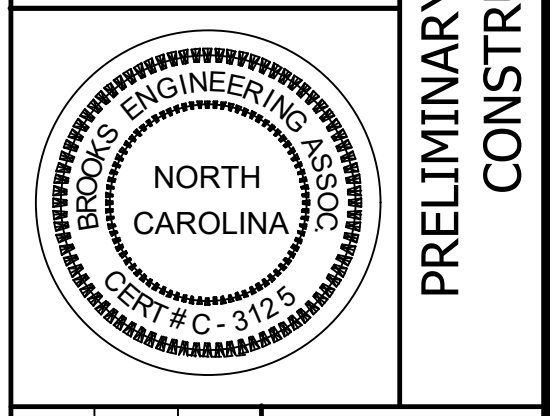
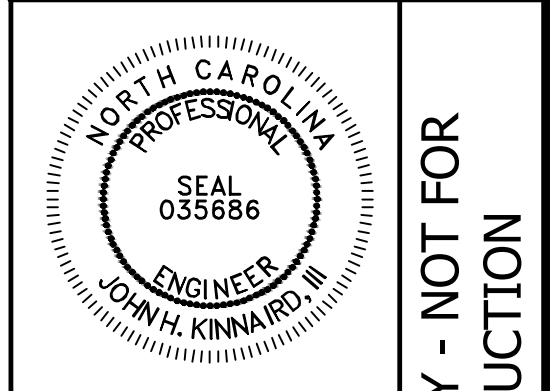
MAP KEY

DEVELOPMENT DATA

PROPERTY ADDRESS: 1792 LOCUST GROVE RD
 HENDERSONVILLE, NC 28792
 PIN NUMBER: 9671-48-3594 and 9671-59-4941
 PROPERTY SIZE: 97.49 AC
 ZONING REVIEW: HENDERSON COUNTY
 EROSION CONTROL REVIEW: HENDERSON COUNTY
 STORMWATER REVIEW: HENDERSON COUNTY
 ZONING CLASSIFICATION: R3
 PROPOSED NUMBER OF UNITS: N/A
 PROPOSED DENSITY: N/A
 PROPERTY OWNERS: ROBERT T. LOVE
 ROBERT T. LOVE
 828-485-8775
 ADDRESS: 2236 N CLEAR CREEK ROAD
 HENDERSONVILLE, NC 28792
 DEVELOPER: ANDY BAKER
 ADDRESS: 69 CLARK GAP ROAD
 FLETCHER, NC
 EMAIL: ANDY@TFMNCAROLINA.COM
 PHONE: 616 402 0367
 ENGINEER: BROOKS ENGINEERING
 CONTACT: WYATT EDSSEL PE
 ADDRESS: 15 ARLINGTON ST
 ASHEVILLE, NC 28801
 EMAIL: WEDSEL@BROOKSEA.COM
 PHONE: 828-232-4700
 LANDSCAPE ARCH.:
 CONTACT:
 ADDRESS:
 EMAIL:
 PHONE:



No.	REVISIONS/SUBMISSIONS	Date
1	WATER & SEWER ALLOCATIONS	10-05-2021
2	CZD SUBMISSION	12-03-2021
3	CZD RESUBMISSION	12-17-2021
4	CZD RESUBMISSION	01-21-2022
5	SITE PLAN REVISIONS	03-02-22



Reviewed: JHK
 Scale: AS NOTED
 Date: 03-02-2022
 Designed: EJJ
 Drawn: LBC
 Checked: EJJ
 15 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brooksea.com

BROOKS ENGINEERING ASSOCIATES
 Planning • Engineering • Surveying
 • Environmental Services •

Project No: 543521L
 Drawing Title: STORMWATER & UTILITY PLAN 4
 LOVE STOCKPILE
 CONDITIONAL ZONING REVIEW
 HENDERSON COUNTY
 NORTH CAROLINA

Revision/Submission number with a triangle indicates changes made on this sheet.
 File Location: L:\2021 Projects\538921_Washburn_Hendersonville DO & Plan\DWG\Civil\Base-538921.dwg